

LWP Property Group Bushfire Management Plan (BMP) Compliance and Condition Clearance Report

> Ambia Estate – Stages 4 and 5A Southern River Road, Southern River

5 July 2021 61179/138,681 (Rev 0) JBS&G Australia Pty Ltd T/A Strategen-JBS&G



Table of Contents

1.	Introduction1							
	1.1	Site/development summary1						
	1.2	Purpose	of report	1				
2.	Imple	ementatio	on of relevant bushfire management measures	3				
3.	Bushf	fire assess	sment results	6				
	3.1	Assessm	ent inputs	6				
		3.1.1	Vegetation classification	6				
		3.1.2	Effective slope	6				
		3.1.3	Summary of inputs	6				
	3.2	Assessm	ent outputs	8				
		3.2.1	Bushfire Attack Level (BAL) contour assessment	8				
		3.2.1	BAL certificates	9				
4.	Concl	lusion and	d recommendations	11				
5.	References1							
6.	Limita	Limitations						

List of Tables

Table 1: Site/development summary	1
Table 2: BMP Management Measures	4
Table 3: Summary of vegetation classifications, exclusions and effective slope	6
Table 4: BAL contour assessment results	8

List of Figures

-igure 1: Vegetation classification and effective slope	7
Figure 2: BAL contour map1	0

Appendices

Appendix A	BAL certificates
Appendix B	Vegetation plot photos and description
Appendix C	Landscaping plan
Appendix D	Civil water reticulation plan
Appendix E	Civil roadworks plan



1. Introduction

1.1 Site/development summary

Table 1 provides a summary of the site and proposed development. The development layout and subject lots are shown in Figure 1 and Figure 2.

Table 1: Site/development summary

Site details							
Address details	36 proposed residential lots within Stages 4 and 5A Ambia Estate, Southern Rive						
	Road, Southern River						
Local government area	City of Gosnells						
Description of building works	Construction of a single residential dwelling (Class 1a building and associated						
	Class 10a structures) within each residential lot						

1.2 Purpose of report

This Bushfire Management Plan (BMP) compliance and condition clearance report has been prepared for 36 proposed residential lots within Stages 4 and 5A Ambia Estate, located on Southern River Road, Southern River (hereafter referred to as the project area). Lots within Stages 4 and 5A are subject to WAPC subdivision approval (WAPC reference 156198).

The purpose of this report is to address the following bushfire related condition for the project area, applicable to WAPC reference 156198:

Condition 26: Information is to be provided to demonstrate that the measures contained in Section 5 Implementation and Enforcement, Table 4: Proposed Works Program of the Bushfire Management Plan (Strategen-JBS&G, Rev 1, March 2018) as amended have been implemented during subdivisional works. (Local Government)

To address the abovementioned condition, Strategen-JBS&G has undertaken a compliance assessment and audit against the management actions from the nominated BMP (Strategen ref: LWP16375.01 R001 Rev 1 dated 8 March 2018), including assessment against the bushfire protection criteria outlined in *Guidelines for Planning in Bushfire Prone Areas* (the Guidelines; WAPC 2017). An assessment of compliance with the measures outlined in the BMP, consistent with the requirements of the Guidelines, is provided in Table 2.

This report also provides a post-subdivisional works update of the Bushfire Attack Level (BAL) ratings for individual lots within the project area and has been prepared for the benefit of the developer, decision makers and future lot purchasers. The BAL assessment outlined in this report is the most up to date assessment from Strategen-JBS&G relating to the project area and has been prepared in consideration of the previous BAL contour assessment documented in the BMP (Strategen ref: LWP16375.01 R001 Rev 1 dated 8 March 2018). The approach for preparation of this report is consistent with Section 4.2 and Appendix 3 of the Guidelines.

The project area is designated as bushfire prone on the *Map of Bush Fire Prone Areas* (DFES 2019; see Plate 1). BAL certificates have been prepared for individual lots situated in a bushfire prone area (i.e. all proposed lots) and are contained in Appendix A for use as part of lot sale and to accompany future building permit applications.





Plate 1 Map of Bush Fire Prone Areas (DFES 2019)



2. Implementation of relevant bushfire management measures

The endorsed BMP includes several bushfire management strategies that are inherent to the ability for the development to achieve bushfire compliance and the associated residential lots to achieve the BAL ratings intended under the previously prepared BAL contour map.

Strategen-JBS&G can confirm that the relevant bushfire management actions detailed in the endorsed BMP have been implemented as intended throughout the duration of subdivisional works. Table 2 summarises the status of each implementation action and provides the necessary evidence of compliance.



Table 2: BMP Management Measures

Action	Timing of action	Evidence of completion/clearance comments
Creation of APZs	Following subdivision approval and prior to construction of buildings	Refer to updated Bushfire Attack Level (BAL) contour assessment in Section 3, the updated BAL contour map (Figure 2) and recent site photos (Appendix B) for current site conditions.
		Sufficient cleared and low threat land surrounds the proposed Stages 4 and 5A lots to ensure that a rating of BAL-29 or lower has been achieved for all proposed lots without the need for any further APZ controls. The public road (Bikram Circuit), cleared future development stages and low threat POS cell to the west provide non-vegetated/managed interfaces adjacent with Plot 3 (Class C shrubland) and Plot 2 (Class D scrub), providing sufficient separation to achieve a rating of BAL-29 or lower.
		Proposed development within Stages 4 and 5A achieves compliance with Acceptable Solutions A1.1 and A2.1 of the Guidelines, which require all habitable development to be located in areas of BAL-29 or lower through the provision of sufficient low threat separation.
Maintenance of APZs	As required to achieve 2 t/ha threshold all year round	Bikram Circuit, the cleared future development stages and low threat POS cell to the west have been established as non- vegetated and/or low threat areas at the interfaces with Plot 3 (Class C shrubland) and Plot 2 (Class D scrub) and proposed lots, providing sufficient separation to achieve a rating of BAL-29 or lower without the need for any further APZ controls. These areas will continue to be maintained as low threat following construction of roads, lots and POS. POS proposed to contain retained or reintroduced vegetation has been classified accordingly, as per Figure 1. The vegetation classifications and exclusions applied throughout POS areas is in accordance with the Landscape Plans provided in Appendix C.
Creation and maintenance of POS (including low fuel areas) where required	Following subdivision approval and prior to construction of buildings	As above, landscaping plans (Appendix C) have been reviewed and deemed to comply with the vegetation classifications/exclusions applied in Figure 1.
Construct buildings in accordance with AS 3959 and the assessed BAL	At building construction	N/A This will be undertaken in accordance with the assessed BAL rating at the building permit stage.
Construct public roads and cul-de-sacs in accordance with Guideline technical requirements	During subdivisional works (with construction works bonded for public roads and temporary cul-de-sacs)	Refer to civil roadworks layout plans in Appendix E. Vehicular access to the Stages 4 and 5A residential lots is compliant with both the BMP and the acceptable solutions of the Guidelines. Halcyon Loop and Bikram Circuit provide primary public road access to the proposed Stages 4 and 5A lots from Southern River Road to the north. A temporary Emergency Access Way (EAW) from Halcyon Loop provides temporary secondary access that extends to the existing haul road and permits travel to Matison Road in the south. The EAW is typically greater than 6 m wide and is compliant with Acceptable Solution A3.6 and available for use in an emergency. This EAW was endorsed as part of Stages 1 and 2 subdivision clearances. The temporary EAW has been maintained to ensure it is trafficable by 2WD vehicles throughout the year, in particular during the bushfire season.
		The two vehicular access connections provided deliver compliance with Acceptable Solution A3.1 and the various access ways comply with A3.2 and A3.6. A temporary cul-de-sac is required at the southern terminus of Kenchuto Way and is compliant with Acceptable Solution A3.3.



Action	Timing of action	Evidence of completion/clearance comments
Construct and maintain	All year round as specified in	Compliant for development site at the time of inspection. This will require ongoing compliance as per BMP and firebreak
firebreaks around all lots	the current firebreak notice	notice provisions.
exceeding 5000 m ²		
Provide a reticulated water	During subdivisional works	Reticulated water supply will be extended to Stages 4 and 5A via connections at Bikram circuit and Zola Lane as per the civil
supply and network of	(with construction works	water reticulation plan provided in Appendix D. One new street hydrant will be installed within the Stage 4 and 5A
hydrants in accordance with	bonded for public roads and	development boundary to achieve compliance with Acceptable Solution A4.1.
subdivision approval and	temporary cul-de-sacs)	
water authority, DFES and		
City technical requirements		
Notification on Title	Following subdivision approval	N/A To be completed by others upon successful clearance of subdivision conditions at creation of titles.
BMP and BAL assessment at	A revised BMP, including	This report includes an updated BAL contour assessment, which demonstrates that all proposed lots can achieve BAL-29 or
future planning stages	detailed BAL contour	lower.
	assessment based on lot or	
	development layout, will be	This report demonstrates compliance with the BMP and the acceptable solutions of the Guidelines.
	required for proposed	
	development at an appropriate	
	future planning stage (such as	
	subdivision or development	
	application) to ensure the	
	management measures and	
	separation distances are	
	consistent with final	
	development design	
Compliance with current fire	All year round as specified in	Compliant for the Stage 4 and 5A development site at the time of inspection. This will require ongoing compliance as per
control order	the current fire control order	BMP and firebreak notice provisions.



3. Bushfire assessment results

3.1 Assessment inputs

3.1.1 Vegetation classification

Strategen-JBS&G assessed classified vegetation and exclusions within the 150 m assessment area through on-ground verification on 23 June 2021 in accordance with AS 3959—2018 *Construction of Buildings in Bushfire-Prone Areas* (AS 3959; SA 2018) and the *Visual Guide for Bushfire Risk Assessment in Western Australia* (DoP 2016). Georeferenced site photos and a description of the vegetation classifications and exclusions are contained in Appendix B and depicted in Figure 1, with results summarised in Table 3.

Areas of retained vegetation in conservation POS that were previously classified as Class B woodland in the BMP have been revised to a Class D scrub classification, which is a more accurate representation of the fuel profile and potential fire behaviour in accordance with AS3959–2018 (i.e. vegetation with a continuous horizontal fuel profile between 2–6 m in height). All other vegetation classifications were deemed consistent with the approved BMP, including areas subject to drainage landscaping (refer to landscaping plans contained in Appendix C).

3.1.2 Effective slope

Strategen-JBS&G assessed effective slope under classified vegetation within the 150 m assessment area through on-ground verification on 23 June 2021 in accordance with AS 3959. Results were cross-referenced with DPIRD 2 m contour data (see Figure 1). All classified vegetation was assessed as being situated on land that is flat or upslope of the proposed lots, which is consistent with the approved BMP over the site, as summarised in Table 3.

3.1.3 Summary of inputs

Figure 1 illustrates the current post-development vegetation classifications and exclusions observed during the inspection. The vegetation classifications/exclusions and effective slope are summarised in Table 3.

Vegetation plot	Vegetation classification	Effective slope	Comments
1	Class B Woodland	Flat/upslope (0°)	Scattered Eucalyptus dominated woodland with grassland surface fuels
2	Class D Scrub	Flat/upslope (0°)	Scrub vegetation with a continuous horizontal fuel profile between 2–6 m in height
3	Class C Shrubland	Flat/upslope (0°)	Complete and proposed drainage basins as per landscape plans
4	Class G Grassland	Flat/upslope (0°)	Unmanaged grassland on adjacent landholdings
5	Excluded – Low threat (Clause 2.2.3.2 [c])	N/A	Drainage/verge planting along Southern River Road that is less than 0.25 ha and greater than 20 m from any other classified vegetation
6	Excluded – Non-vegetated & Low threat (Clauses 2.2.3.2 [e] and [f])	N/A	Non-vegetated and low threat managed vegetation



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3.2 Assessment outputs

3.2.1 Bushfire Attack Level (BAL) contour assessment

Strategen-JBS&G has undertaken a BAL contour assessment in accordance with Method 1 of AS 3959 for the project area (Figure 2). The Method 1 procedure incorporates the following factors:

- state-adopted FDI 80 rating
- vegetation classification
- effective slope
- distance maintained between proposed development areas and the classified vegetation.

The BAL contours are based on the current on-ground site conditions and take into consideration the bushfire management measures that have been implemented on site as listed in Table 2.

Results of the BAL contour assessment are detailed in Table 4 and illustrated in Figure 2. Where applicable, Table 4 recommends potential building setbacks for future buildings to achieve a lower BAL.

Lot	Designated bushfire prone area	Plot	Vegetation classification	Effective slope	Separation (m)	Highest BAL	Setback required to achieve lower BAL	Reduced BAL rating* with setback
210	Yes	2	Class D scrub	Flat/upslope (0°)	63m	BAL-12.5	N/A	N/A
211	Yes	2	Class D scrub	Flat/upslope (0°)	63m	BAL-12.5	N/A	N/A
212	Yes	3	Class C shrubland	Flat/upslope (0°)	61m	BAL-12.5	N/A	N/A
213	Yes	3	Class C shrubland	Flat/upslope (0°)	56m	BAL-12.5	N/A	N/A
214	Yes	3	Class C shrubland	Flat/upslope (0°)	51m	BAL-12.5	N/A	N/A
215	Yes	3	Class C shrubland	Flat/upslope (0°)	48m	BAL-12.5	N/A	N/A
216	Yes	3	Class C shrubland	Flat/upslope (0°)	43m	BAL-12.5	N/A	N/A
217	Yes	3	Class C shrubland	Flat/upslope (0°)	38m	BAL-12.5	N/A	N/A
218	Yes	3	Class C Shrubland	Flat/upslope (0°)	85m	BAL-12.5	N/A	N/A
224	Yes	3	Class C Shrubland	Flat/upslope (0°)	13m	BAL-19	N/A	N/A
225	Yes	3	Class C Shrubland	Flat/upslope (0°)	13m	BAL-19	N/A	N/A
226	Yes	3	Class C Shrubland	Flat/upslope (0°)	13m	BAL-19	6m front setback	BAL-12.5
227	Yes	3	Class C Shrubland	Flat/upslope (0°)	13m	BAL-19	N/A	N/A
228	Yes	3	Class C Shrubland	Flat/upslope (0°)	28m	BAL-12.5	N/A	N/A
229	Yes	3	Class C Shrubland	Flat/upslope (0°)	44m	BAL-12.5	N/A	N/A
230	Yes	3	Class C Shrubland	Flat/upslope (0°)	56m	BAL-12.5	N/A	N/A
231	Yes	3	Class C Shrubland	Flat/upslope (0°)	68m	BAL-12.5	N/A	N/A
232	Yes	3	Class C Shrubland	Flat/upslope (0°)	72m	BAL-12.5	N/A	N/A

Table 4: BAL contour assessment results



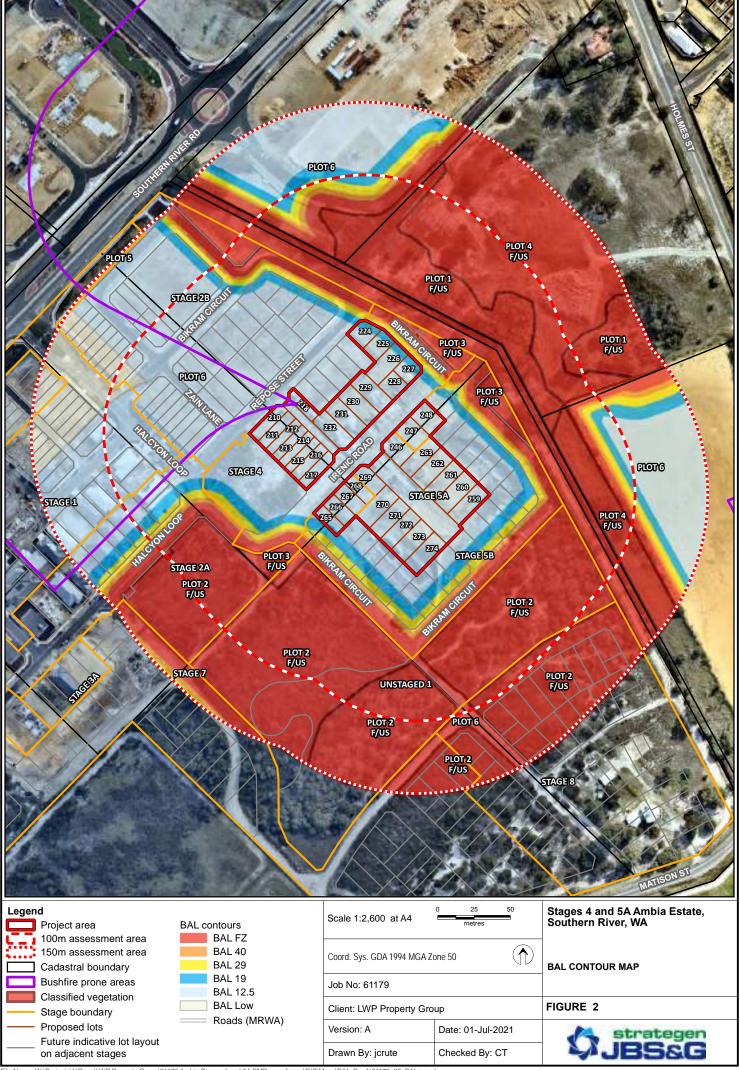
Lot	Designated bushfire prone area		ushfire Plot Vegetation Effective slope (m)		Highest BAL	Setback required to achieve lower BAL	Reduced BAL rating* with setback	
246	Yes	3	Class C Shrubland	Flat/upslope (0°)	58m	BAL-12.5	N/A	N/A
247	Yes	3	Class C Shrubland	Flat/upslope (0°)	43m	BAL-12.5	N/A	N/A
248	Yes	3	Class C Shrubland	Flat/upslope (0°)	28m	BAL-12.5	N/A	N/A
259	Yes	2	Class D scrub	Flat/upslope (0°)	41m	BAL-12.5	N/A	N/A
260	Yes	3	Class C Shrubland	Flat/upslope (0°)	43m	BAL-12.5	N/A	N/A
261	Yes	3	Class C Shrubland	Flat/upslope (0°)	43m	BAL-12.5	N/A	N/A
262	Yes	3	Class C Shrubland	Flat/upslope (0°)	43m	BAL-12.5	N/A	N/A
263	Yes	3	Class C Shrubland	Flat/upslope (0°)	43m	BAL-12.5	N/A	N/A
265	Yes	2	Class D Scrub	Flat/upslope (0°)	24.5m	BAL-19	2.5m truncated side setback off southwest boundary	BAL-12.5
266	Yes	2	Class D Scrub	Flat/upslope (0°)	34m	BAL-12.5	N/A	N/A
267	Yes	2	Class D Scrub	Flat/upslope (0°)	43m	BAL-12.5	N/A	N/A
268	Yes	2	Class D Scrub	Flat/upslope (0°)	53m	BAL-12.5	N/A	N/A
269	Yes	2	Class D Scrub	Flat/upslope (0°)	62m	BAL-12.5	N/A	N/A
270	Yes	2	Class D Scrub	Flat/upslope (0°)	43m	BAL-12.5	N/A	N/A
271	Yes	2	Class D Scrub	Flat/upslope (0°)	43m	BAL-12.5	N/A	N/A
272	Yes	2	Class D Scrub	Flat/upslope (0°)	43m	BAL-12.5	N/A	N/A
273	Yes	2	Class D Scrub	Flat/upslope (0°)	43m	BAL-12.5	N/A	N/A
274	Yes	2	Class D Scrub	Flat/upslope (0°)	38m	BAL-12.5	N/A	N/A

*The new BAL rating can only be confirmed once the building plan for the relevant lot has been prepared to demonstrate compliance with the recommended setback.

3.2.1 BAL certificates

BAL certificates for the subject lots are provided in Appendix A in accordance with the BAL contour assessment results detailed in Table 4 and Figure 2.

Should a lower BAL rating be realistically achievable through an appropriate building setback, then the landowner can refer to the recommended setbacks listed in Table 4. The lower BAL rating may be achieved if the recommended building setback is reflected on the building plan for that lot and a revised BAL certificate can be issued at that time.



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4. Conclusion and recommendations

This BMP compliance and condition clearance report has been prepared for 36 proposed residential lots within Stages 4 and 5A Ambia Estate to demonstrate successful implementation of the endorsed BMP and compliance with bushfire protection criteria of the Guidelines relevant to this stage of development.

Assessment results are consistent with current on-ground conditions. Strategen-JBS&G can confirm that the existing BMP over the site has been implemented as intended throughout the duration of subdivisional works for the relevant Stages 4 and 5A area and adjacent land to achieve the BAL outcomes compliant with BMP and the bushfire protection criteria of the Guidelines.

Ongoing requirements of the current City of Gosnells annual firebreak notice should continue to be implemented as required, particularly with regards to ongoing fuel management of vacant land.



5. References

Department of Fire and Emergency Services (DFES) 2019, *Map of Bush Fire Prone Areas*, [Online], Government of Western Australia, available from:

https://maps.slip.wa.gov.au/landgate/bushfireprone/, [30/06/2021].

- Department of Planning (DoP) 2016, *Visual guide for bushfire risk assessment in Western Australia*, Department of Planning, Perth.
- Standards Australia (SA) 2018, Australian Standard AS 3959–2018 Construction of Buildings in Bushfire-prone Areas, Standards Australia, Sydney.
- Strategen 2018, Bushfire Management Plan: Lots 13, 14, 21 and 22 Southern River Road and Lots 19 and 20 Matison Street, Southern River, report prepared for LWP Property, March 2018.
- Western Australian Planning Commission (WAPC) 2017, *Guidelines for Planning in Bushfire Prone Areas*, Version 1.3 August 2017, Western Australian Planning Commission, Perth.



6. Limitations

Scope of services

This report ("the report") has been prepared by Strategen-JBS&G in accordance with the scope of services set out in the contract, or as otherwise agreed, between the Client and Strategen-JBS&G. In some circumstances, a range of factors such as time, budget, access and/or site disturbance constraints may have limited the scope of services. This report is strictly limited to the matters stated in it and is not to be read as extending, by implication, to any other matter in connection with the matters addressed in it.

Reliance on data

In preparing the report, Strategen-JBS&G has relied upon data and other information provided by the Client and other individuals and organisations, most of which are referred to in the report ("the data"). Except as otherwise expressly stated in the report, Strategen-JBS&G has not verified the accuracy or completeness of the data. To the extent that the statements, opinions, facts, information, conclusions and/or recommendations in the report ("conclusions") are based in whole or part on the data, those conclusions are contingent upon the accuracy and completeness of the data. Strategen-JBS&G has also not attempted to determine whether any material matter has been omitted from the data. Strategen-JBS&G will not be liable in relation to incorrect conclusions should any data, information or condition be incorrect or have been concealed, withheld, misrepresented or otherwise not fully disclosed to Strategen-JBS&G. The making of any assumption does not imply that Strategen-JBS&G has made any enquiry to verify the correctness of that assumption.

The report is based on conditions encountered and information received at the time of preparation of this report or the time that site investigations were carried out. Strategen-JBS&G disclaims responsibility for any changes that may have occurred after this time. This report and any legal issues arising from it are governed by and construed in accordance with the law of Western Australia as at the date of this report.

Environmental conclusions

Within the limitations imposed by the scope of services, the preparation of this report has been undertaken and performed in a professional manner, in accordance with generally accepted environmental consulting practices. No other warranty, whether express or implied, is made.

The advice herein relates only to this project and all results conclusions and recommendations made should be reviewed by a competent person with experience in environmental investigations, before being used for any other purpose.

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Appendix A BAL certificates





Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details an	d Descripti	on of Works						
Address Details	Unit no	Street no	Lot no 210	Street name / Plan Reference Zola Lane				
	Suburb Southern	River			Postcode 5110			
Local government area	Gity of Gosnells							
Main BCA class of the building	Class 1a	Use(s buildi) of the ng	Residential dwelling				
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s							

Determination of Highest Bushfire Attack Level							
AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL			
Method 1	Class D Scrub	Flat/Upslope	63m	BAL - 12.5			

I hereby declare that I am a BPAD accredited bushfire practitioner. Accreditation No. 37303
Signature
Date 5/7/2

Reference on the assessment and determination of the Bushfre Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the cartificate. If this certificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accretited Practitioner and where required an updated certificate issued.





Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details an	d Descripti	on of Works		A DESCRIPTION OF THE OWNER OF THE				
Address Details	Unit no	Street no	Lot no 211	Street name / Plan Reference Zola Lane				
	Suburb Southern	River			State WA	Postcode 6110		
Local government area	City of Gosnells							
Main BCA class of the building	Class 1a	Use(s buildi) of the ng	Residential dwelling				
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s							

Determination of Highest Bushfire Attack Level							
AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL			
Method 1	Class D Scrub	Flat/Upslope	63m	BAL - 12.5			

Name Zac Cockerill	
Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G	I hereby declare that I am a BPAD accredited bushfire practitioner. Accreditation No. 37803
hereby certify that I have undertaken the assessment of the above site and determined	Signature 20
the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	Date (5/7/11
	Authorized Practitioner Stomp

Reliance on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months aga, it is recommended that the volidity of the determination be confirmed with the Accordited Practitioner and where required on updated certificate issued.





Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details an	d Descripti	on of Works						
Address Details	Unit no	Street no	Lot no 212	Street name / Plan Reference Zola Lane				
	Suburb Southern	River		St	ate A	Postcode 6110		
Local government area	City of Gosnells							
Main BCA class of the building	Class 1.a	Use(s buildi) of the ng	Residential dwelling				
Description of the building or works	he Construction of a single Class 1a building and associated Class 10a building/s							

Determination of Highest Bushfire Attack Level							
AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL			
Method 1	Class C Shrubland	Flat/Upslope	61m	BAL - 12.5			

BPAD Accredited Practitioner Details	
Name Zac Cockerill	
Company Details BS&G Australia Pty Ltd T/A Strategen JBS&G	I hereby declare that I am a BPAD accredited bushfire practitioner.
hereby certify that I have undertaken the ssessment of the above site and determined he Bushfire Attack Level stated above in accordance with the requirements of \$3959-2018.	Accreditation No. 37805 Signature Date Authorized Fractilioner Storm

Reference on the assessment and determination of the Bushfre Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months aga, it is recommended that the validity of the determination be confirmed with the Accordited Practitioner and where required an updated certificate issued.





Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details an	d Descripti	on of Works		and the state of the second				
Address Details	Unit no	Street no	Lot no 213	Street name / Plan Reference Zola Lane				
	Suburb Southern	River		State Postcode WA 6110				
Local government area	City of Gosnells							
Main BCA class of the building	Class 1a	Use(s buildi) of the ing	Residential dwelling				
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s							

Determination of Highest Bushfire Attack Level							
AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL			
Method 1	Class C Shrubland	Flat/Upslope	56m	BAL - 12.5			

Zac Cockerill	
Company Details IBS&G Australia Pty Ltd T/A Strategen JBS&G	I hereby declare that I am a BPAD accredited bushfire practitioner.
I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	Accreditation No. 37803 Signature Date 5/7/21

Beliance on the assessment and determination of the Bushfire Attack Lovel contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated certificate issued.





Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details an	d Descripti	on of Works				Contraction of the local division of the loc
Address Details	Unit no	Street no	Lot no 214	Street name / Plan Reference Zola Lane		
	Suburb Southern River				State WA	Postcode 6110
Local government area	Vernment City of Gosnells					
Main BCA class of the building Class 1a Use(s) of the building Residential dwelling						
Description of the building or works	scription of the Construction of a single Class 1a building and associated Class 10a building/s					

Determination of Highest Bushfire Attack Level							
AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL			
Method 1	Class C Shrubland	Flat/Upslope	51m	BAL-12.5			

BPAD Accredited Practitioner Details Name Zac Cockerill	
Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G	I hereby declare that I am a BPAD accredited bushfire practitioner.
I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	Accreditation No. 37863 Signature Date 5/7/2
	Authorised Practitioner Stamp

Reliance on the assessment and determination of the Boshfire Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accordited Practitioner and where required an updated certificate hourd.





Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details an	d Descripti	on of Works						
Address Details	Unit no	Street no	Lot no 215	Street name / Plan Reference Zola Lane				
	Suburb Southern	River			State WA	Postcode 6110		
Local government area	City of Gosnells							
Main BCA class of the building	Class 1a	Use(s buildi) of the ing	Residential dwelling				
Description of the building or works	Construc	tion of a sing	le Class 1:	a building and associated Class 10	a building/s			

etermination of Highes	t Bushfire Attack Level			- II.
AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class C Shrubland	Flat/Upslope	48m	BAL - 12.5

ame ac Cockerill	
ompany Details BS&G Australia Pty Ltd T/A Strategen JBS&G	I hereby declare that I am a BPAD accredited bushfire practitioner.
hereby certify that I have undertaken the ssessment of the above site and determined he Bushfire Attack Level stated above in coordance with the requirements of	Accreditation No. 37803 Signature M Date 5/7/11

Reference on the assessment and determination of the Buildfire Attack Level contained in this certificate should not extend beyond a partial of 12 months from the date of issue of the certificate. If this certificate was assee than 12 months aga, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required on updated certificate issued.





Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details and	d Descripti	on of Works						
Address Details	Unit no	Street no	Lot no 216	Street name / Plan Reference Zola Lane				
	Suburb Southern	River		State Postco WA 6110	de			
Local government area	City of Gosnells							
Main BCA class of the building	Class 1a	Use(s buildi) of the ng	Residential dwelling				
Description of the building or works	Construc	tion of a sing	le Class 1	a building and associated Class 10a building/s				

Determination of Highest Bushfire Attack Level							
AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL			
Method 1	Class C Shrubland	Flat/Upslope	43m	BAL-12.5			

BPAD Accredited Practitioner Details	
Name Zac Cockerill	
ompany Details S&G Australia Pty Ltd T/A Strategen JBS&G hereby certify that I have undertaken the	I hereby declare that I am a BPAD accredited bushfire practitioner. Accreditation No. 37803
sessment of the above site and determined e Bushfire Attack Level stated above in cordance with the requirements of	Signature X Date 5/7/21
S 3959-2018.	Authorised Practitioner Stamp

Relance on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a period of 12 months from the data of issue of the cartificate. If this certificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated certificate hoved.





Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details an	d Descripti	on of Works				and the second distance		
Address Details	Unit no	Street no	Lot no 217	Street name / Plan Reference Zola Lane				
	Suburb Southern River				State WA	Postcode 6110		
Local government area	City of Gosnells							
Main BCA class of the building	Class 1a	Use(s buildi) of the ng	Residential dwelling				
Description of the building or works	Construc	tion of a sing	le Class 1:	a building and associated Class 10	la building/s			

Determination of Highes	t Bushfire Attack Level			
AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class C Shrubland	Flat/Upslope	38m	BAL - 12.5

I hereby declare that I am a BPAD accredited bushfire practitioner. Accreditation No. 37803
Signature T
Date / 5/7/11

Reference on the assessment and determination of the Bushfire Attack Level contained in this cartificate should not extend beyond a period of 12 months from the date of issue of the vertificate. If this cartificate was issued more than 12 months ago, it is recommanded that the validity of the determination be confirmed with the According Proclaimmer and where required an opdated certificate based.





Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details an	d Descripti	on of Works				and the owner where the party is not		
Address Details	Unit no	Street no	Lot no 218	Street name / Plan Reference Repose Street				
	Suburb Southern	River		1.1	itate VA	Postcode 6110		
Local government area	City of Gosnells							
Main BCA class of the building	Class 1a	Use(s buildi) of the ng	Residential dwelling				
Description of the building or works	Construc	tion of a sing	le Class 17	building and associated Class 10a	building/s			

Determination of Highest Bushfire Attack Level						
AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL		
Method 1	Class C Shrubland	Flat/Upslope	85m	BAL-12.5		

Vame Zac Cockerill	
Company Details IBS&G Australia Pty Ltd T/A Strategen JBS&G	I hereby declare that I am a BPAD accredited bushfire practitioner.
hereby certify that I have undertaken the ssessment of the above site and determined he Bushfire Attack Level stated above in ccordance with the requirements of S 3959-2018.	Signature R Date 5/7/24
3959-2018.	Authorned Practitioner Stamp

Relance on the assessment and determination of the Boshfire Attack Level contained in this cartificate should not extend beyond a period of 12 months from the date of issue of the cartificate. If this cartificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated certificate issued.





Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details and	d Descripti	on of Works				and the second se	
Address Details	Unit no	Street no	Lot no 224	Street name / Plan Reference Bikram Circuit			
	Suburb				State	Postcode	
	Southern River				WA	6110	
Local government area	City of Gosnells						
Main BCA class of the building	ain BCA class of Class 1a Use(s) of the Residential dwelling						
Description of the building or works	Construc	tion of a sing	le Class 1a	a building and associated Class 10:	a building/s		

S 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class C Shrubland	Flat/Upslope	13m	BAL-19

ame oc Cockerill	
ompany Details IS&G Australia Ptγ Ltd T/A Strategen JBS&G	I hereby declare that I am a BPAD accredited bushfire practitioner. Accreditation No. 37563
hereby certify that I have undertaken the sessment of the above site and determined	Signature X
e Bushfire Attack Level stated above in cordance with the requirements of \$ 3959-2018.	Date 5/7/24

Relance on the assessment and determination of the Boshfire Attack Level contained in this certificate should not extend beyond a period of 32 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accessited Practitioner and where required on updated tertificate hourd.





Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details an	d Descripti	on of Works				and the second second
Address Details	Unit no	Street no	Lot no 225	Street name / Plan Reference Bikram Circuit		
	Suburb Southern	River			State WA	Postcode 6110
Local government area	City of Gosnells					
Main BCA class of the building	Class 1a Use(s) of the building Residential dwelling					
Description of the building or works	Construc	tion of a sing	ie Class 1a	a building and associated Class 10	a building/s	

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class C Shrubland	Flat/Upslope	13m	BAL-19

ame .c Cockerill	
ompany Details S&G Australia Pty Ltd T/A Strategen JBS&G	I hereby declare that I am a BPAD accredited bushfire practitioner.
ereby certify that I have undertaken the sessment of the above site and determined a Bushfire Attack Level stated above in cordance with the requirements of 3959-2018.	Accreditation No. 37803 Signature M Date 5/7/21

Reference on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommended that the volidity of the determination be conformed with the Accredited Practitioner and where required an updated certificate issued.





Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details an	d Descripti	on of Works				
Address Details	Unit no	Street no	Lot no 226	Street name / Plan Reference Bikram Circuit		
	Suburb Southern	River		State WA	Postcode 6110	
Local government area	City of Gosnells					
Main BCA class of the building	Class 1a Residential dwelling					
Description of the building or works	Construc	tion of a sing	le Class 1a	a building and associated Class 10a building/s		

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class C Shrubland	Flat/Upslope	13m (lower BAL achievable with setback)	BAL-19

lame ac Cockerill	
Company Details BS&G Australia Pty Ltd T/A Strategen JBS&G	I hereby declare that I am a BPAD accredited bushfire practitioner. Accreditation No. 37803
I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of	Signature M
	Date 5[7]2

Reliance on the assessment and deterministion of the Bushifter Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of losue of the cartificate. If this certificate was issued more than 32 months ago, 11 is recommended that the validity of the determination be confirmed with the Accredited Prochimer and where expired on opdated certificate issued.





Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details an	d Descripti	on of Works			And in case of the local division of the loc	
Address Details	Unit no Street no Lot no Street name / Plan I 227 Bikram Circuit			Street name / Plan Reference Bikram Circuit		
	Suburb Southern	River		State WA	Postcode 6110	
Local government area	at City of Gosnells					
Main BCA class of the building	Class 1a Use(s) of the building Residential dwelling					
Description of the building or works	Construc	tion of a sing	le Class 1;	a building and associated Class 10a building	/s	

Determination of Highest Bushfire Attack Level							
AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL			
Method 1	Class C Shrubland	Flat/Upslope	13m	BAL 19			

3PAD Accredited Practitioner Details	
Vame Zac Cockerill	
ompany Details 35&G Australia Pty Ltd T/A Strategen JBS&G	I hereby declare that I am a BPAD accredited bushfire practitioner.
hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in	Accreditation No. 37803 Signature 20
sordance with the requirements of 3959-2018.	Date 0 5/7/2
	Authorized Practitioner Stamp

Relance on the assessment and determination of the Busilfere Attack Level couldined in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommonded that the validity of the determination be confirmed with the Accredited Proctitioner and where required an updated certificate based.





Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details an	d Descripti	on of Works						
Address Details	Unit no Street no Lot no Street name / Plan R 228 Irenic Road			Street name / Plan Reference Irenic Road				
	Suburb Southern	River		State Postcod WA 6110				
Local government area	City of G	osnells						
Main BCA class of the building	Class 1a	Use(s buildi) of the ng	Residential dwelling				
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s							

Determination of Highest Bushfire Attack Level						
AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL		
Method 1	Class C Shrubland	Flat/Upslope	28m	BAL-12.5		

Vame Zac Cockerill	
Company Details	I hereby declare that I am a BPAD
BS&G Australia Pty Ltd T/A Strategen JBS&G	accredited bushfire practitioner.
I hereby certify that I have undertaken the	Accreditation No. 37803
assessment of the above site and determined	Signature
the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	Date 5/7/2

Reliance on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a period of 12 months from the state of laste of the certificate. If this certificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Proclitioner and where required on updated certificate issued.





Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details an	d Descripti	an of Works			And in case of the local division of the loc			
Address Details	Unit no	Street no	Lot no 229	Street name / Plan Reference Irenic Road				
	Suburb			State	Postcode			
	Southern	River		WA	6110			
Local government area	City of Gosnells							
Main BCA class of the building	Class 1a	Use(s buildi) of the ng	Residential dwelling				
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s							

Determination of Highest Bushfire Attack Level						
AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL		
Method 1	Class C Shrubland	Flat/Upslope	44m	BAL - 12.5		

Vame Cac Cockerill	
Company Details BS&G Australia Pty Ltd T/A Strategen JBS&G	I hereby declare that I am a BPAD accredited bushfire practitioner.
hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	Accreditation No. 375'03 Signature M Date 5/7/21

Bebance on the assessment and determination of the bushfire Attack Level contained to this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommended that the volidity of the determination be confirmed with the Accedited Fractiticaer and where required an updated certificate issued.





Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details an	d Descripti	on of Works				and the second distance		
Address Details	Unit no							
	Suburb Southern	River		State	e.	Postcode 6110		
Local government area	City of Gosnells							
Main BCA class of the building	Class 1a	Use(s buildi) of the ng	Residential dwelling				
Description of the building or works	Construc	tion of a sing	le Class 1	a building and associated Class 10a buil	lding/s			

Determination of Highest Bushfire Attack Level						
AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL		
Method 1	Class C Shrubland	Flat/Upslope	56m	BAL - 12.5		

Name Zac Cockerill	
Company Details IBS&G Australia Pty Ltd T/A Strategen JBS&G	I hereby declare that I am a BPAD accredited bushfire practitioner.
hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	Accreditation No. 37803 Signature Date 5/7/20

Reliance on the assessment and determination of the Bashfire Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months upo, it is recommended that the validity of the determination he confirmed with the Accordinal Practitioner and where required an updated certificate issued.





This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details an	d Descripti	on of Works						
Address Details	Unit no	Street no	Lot no 231	Street name / Plan Reference Irenic Road				
	Suburb			State	e	Postcode		
	Southern River			WA		6110		
Local government area	City of Gosnells							
Main BCA class of the building	Class 1a	Use{s buildi) of the ng	Residential dwelling				
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s							

Determination of Highes	rmination of Highest Bushfire Attack Level				
AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL	
Method 1	Class C Shrubland	Flat/Upslope	68m	BAL - 12.5	

BPAD Accredited Practitioner Details			
Name Zac Cockerill			
Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in	I hereby declare that I am a BPAD accredited bushfire practitioner. Accreditation No. 37863		
	Signature M		
accordance with the requirements of AS 3959-2018.	Authorised Pracelesser Store		

Befance on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a period of 22 months from the data of issue of the certificate. If this certificate was insued more than 22 months ago, it is recurrimended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated certificate issued.





This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire

Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details an	d Descripti	on of Works			
Address Details	Unit no	Street no	Lot no 232	Street name / Plan Reference Trenic Road	
	Suburb Southern	River		State WA	Postcode 6110
Local government area	City of G	osnells			
Main BCA class of the building	Class 1a	Use(s build) of the ing	Residential dwelling	
Description of the building or works	Construc	tion of a sing	gle Class 1	a building and associated Class 10a building	/s

Determination of Highes	nation of Highest Bushfire Attack Level				
AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL	
Method 1	Class C Shrubland	Flat/Upslope	72m	BAL-12.5	

ame c Cackerill	
Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G	I hereby declare that I am a BPAD accredited bushfire practitioner. Accreditation No. 37803
I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	Signature 2
	Date 5/7/2

Reliance on the assessment and determination of the Banifire Attack Level custolined in this certificate should not extend beyond a period of 32 munitis from the date of issue of the certificate. If this certificate was issued more than 32 months ago, it is recommended that the validity of the determination be confirmed with the Accordited Practitioner and where required an updated certificate insued.





Bushfire Attack Level (BAL) Certificate Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details and	d Descripti	on of Works			
Address Details	Unit no	Street no	Lot no 246	Street name / Plan Reference Irenic Road	
	Suburb Southern	River		State Post WA 6110	
Local government area	City of G	osnells			
Main BCA class of the building	Class 1a	Use(s buildi) of the ng	Residential dwelling	
Description of the building or works	Construc	tion of a sing	le Class 1:	a building and associated Class 10a building/s	

Determination of Highes	t Bushfire Attack Level			
AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class C Shrubland	Flat/Upslope	58m	BAL-12.5

BPAD Accredited Practitioner Details			
Name Zac Cockerill			
ompany Details 35&G Australia Pty Ltd T/A Strategen JB5&G	I hereby declare that I am a BPAD accredited bushfire practitioner.		
I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	Accreditation No. 37803 Signature M Date 5/7/24		
	Authorized Practitioner Stamp		

Refiance on the assessment and determination of the Bushfire Attock Lovel contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this cortificate was assed more than 12 months aga, it is recommended that the validity of the determination be confirmed with the Accorditad Practitioner and where required on updated certificate issued.





This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details and	d Descripti	on of Works		
Address Details	Unit no	Street no	Lot no 247	Street name / Plan Reference Irenic Boad
	Suburb Southerr	ı River		State Postcode WA 6110
Local government area	City of G	osnells		
Main BCA class of the building	Class 1a	Use(s buildi) of the ng	Residential dwelling
Description of the building or works	Construc	tion of a sing	le Class 1a	i building and associated Class 10a building/s

Determination of Higher	t Bushfire Attack Level			
AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class C Shrubland	Flat/Upslope	43m	BAL-12.5

Name Zac Cockerill	
Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G	I hereby declare that I am a BPAD accredited bushfire practitioner. Accreditation No. 37803
I hereby certify that I have undertaken the assessment of the above site and determined	Signature M
the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	Date 5/7/2
	Authorized Proceitioner Stamp

Relaace on the assessment and determination of the bushfire Attack Level contained in this certificate should not automic beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated certificate issued.





Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details and	d Descripti	on of Works		THE REPORT OF ALL PROPERTY OF		
Address Details	Unit no	Street no	Lot no. 248	treet name / Plan Reference renic Road		
	Suburb			State	Postcode	
	Southern River WA 61					
Local government area	City of G	osnells				
Main BCA class of the building	Class 3.a	Use(s build) of the ng	Residential dwelling		
Description of the building or works	Construc	tion of a sing	le Class 1	a building and associated Class 10a buildin	g/s	

Determination of Higher	t Bushfire Attack Level			the state of the s
AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class C Shrubland	Flat/Upslope	28m	8AL - 12.5

Name Zac Cockerill	
Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G	I hereby declare that I am a BPAD accredited bushfire practitioner.
I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	Accreditation No. 37803 Signature
	Date 5/7/24

Reliance on the assessment and determination of the Bushfire Attack Level contained in this certificate s doto of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommanded that the validity of the determination be conformed with the Accredited Practitioner and where required on updated certificate naved.





Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details an	d Descripti	on of Works				
Address Details	Unit no	Street no	Lot no 259	Street name / Plan Reference Kenchuto Way		
	Suburb Southern	ı River		1.5	tate VA	Postcode 6110
Local government area	City of G	osnells				
Main BCA class of the building	Class 1a	Use(s build) of the ing	Residential dwelling		
Description of the building or works	Construc	tion of a sing	le Class 1a	a building and associated Class 10a	building/s	

Determination of Highes	at Bushfire Attack Level			
AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/Upslope	41m	BAL - 12.5

ame ac Cockerill	
ompany Details IS&G Australia Pty Ltd T/A Strategen JBS&G	I hereby declare that I am a BPAD accredited bushfire practitioner.
I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	Signature M
	Date 05/7/2

Relance on the assessment and determination of the hushfire Attack Loval contained in this certificate should not ortand beyond a period of 12 months from the date of issue of the certificate. If this cartificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accordited Practitioner and where required an updated certificate issued.





This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details an	d Descripti	on of Works		the analysis a good part of	
Address Details	Unit no	Street no	Lot no 260	Street name / Plan Reference Kenchuto Way	
	Suburb Southern	ı River		State WA	Postcode 6110
Local government area	City of G	osnells			
Main BCA class of the building	Class 1a	Use(s buildi) of the ng	Residential dwelling	
Description of the building or works	Construc	tion of a sing	le Class 1:	a building and associated Class 10a build	ing/s

Determination of Highes AS 3959 Assessment	t Bushfire Attack Level	Effective	Separation	
Procedure	Vegetation Classification	Slope	Distance	BAL
Method 1	Class C Shrubland	Flat/Upslope	43m	8AL-12.5

BPAD Accredited Practitioner Details	
Name Zac Cockerill	
ompany Details S&G Australia Pty Ltd T/A Strategen JBS&G	I hereby declare that I am a BPAD accredited bushfire practitioner.
I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	Accreditation No. 37803 Signature
	Date / 5/7/21
	Date // 5/7/12

Reliance on the assessment and determination of the Bushfire Attack Level contained in this contificate should not extend beyond a pecied of 1.2 months from the date of issue of the certificate. If this certificate was issued more than 1.2 months ago, it is recommended that the wildday of the datamination be confirmed with the Accredited Practitioner and where required an updated certificate issued.





Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details an	d Descripti	on of Works				and the second
Address Details	Unit no	Street no	Lot no 261	Street name / Plan Reference Kenchuto Way		
	Suburb Southern	River			State WA	Postcode 6110
Local government area	City of G	osnellis				
Main BCA class of the building	Class 1a	Use(s buildi) of the ng	Residential dwelling		
Description of the building or works	Construc	tion of a sing	le Class 1	s building and associated Class 1	0a building/s	

Determination of Higher	st Bushfire Attack Level			
AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class C Shrubland	Flat/Upslope	43m	BAL-12.5

BPAD Accredited Practitioner Details	
Name Zac Cockerill	
Company Details IBS&G Australia Pty Ltd T/A Strategen IBS&G	I hereby declare that I am a BPAD accredited bushfire practitioner.
I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	Accreditation No. 37803 Signature
	Date // 5/7/21
	Authorized Precilitioner Stamp

Relation on the assessment and determination of the Bushfire Attack Level contained in this cartificate should not extend beyond a period of 12 months from the date of issue of the cartificate. If this certificate was based more than 12 months app, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required on updated cartificate Issued.





Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details an	nd Description of Works				STREET, STREET	
Address Details	Unit no	Street no	Lot no 262	Street name / Plan Reference Kenchuto Way		
	Suburb Southern	Biver			State WA	Postcode 6110
Local government area	City of G	osnells				
Main BCA class of the building	Class 1a	Use(s buildi) of the ng	Residential dwelling		
Description of the building or works	Construc	tion of a sing	le Class 1a	a building and associated Class 10)a building/s	

Determination of Highes	it Bushfire Attack Level			
AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class C Shrubland	Flat/Upslope	43m	BAL - 12.5

I hereby declare that I am a BPAD
accredited bushfire practitioner.
Accreditation No. 37803 Signature
Date 5/7/2

Reference on the assessment and determination of the bushfire Attock Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the vertificate. If this certificate was based more than 12 months ago, it is recommanded that the validity of the determination be confirmed with the Accredited Practitioner and where required an applicate issued.





Determined in accordance with AS 3959-2018

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Property Details an	d Description of Works					
Address Details	Unit no	Street no	Lot no 263	Street name / Plan Reference Kenchuto Way		10
	Suburb Southern	River			State WA	Postcode 6110
Local government area	City of G	osnells				
Main BCA class of the building	Class 1a	Use(s buildi) of the ing	Residential dwelling		
Description of the building or works	Construc	tion of a sing	le Class 1	a building and associated Class 10a	a building/s	

Determination of Highes	t Bushfire Attack Level			In succession in the
AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class C Shrubland	Flat/Upslope	43m	8AL - 12.5

3PAD Accredited Practitioner Details	and the second sec
Vame Eac Cockerill	
Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	I hereby declare that I am a BPAD accredited bushfire practitioner.
	Accreditation No. 37503 Signature 71
	Date 5/7/21
	Authorized Practitioner Stania

Behavior on the assessment and determination of the Bushfire Altack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months upo, it is recommended that the validity of the detormination be confirmed with the Accredited Practitioner and where required an updated certificate issued.





Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details an	d Description of Works				
Address Details	Unit no	Street no	Lot no 265	Street name / Plan Reference Irenic Road	
	Suburb Southern	River		State WA	Postcode 6110
Local government area	City of G	osnells			
Main BCA class of the building	Class 1a	Use(s buildi) of the ng	Residential dwelling	
Description of the building or works	Construc	tion of a sing	le Class 1:	a building and associated Class 10a building/s	

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/Upslope	24.5m (lower BAL achievable with setback)	BAL 19

BPAD Accredited Practitioner Details	
Name Zac Cockerill	
ompany Details BS&G Australia Pty Ltd T/A Strategen JBS&G	I hereby declare that I am a BPAD accredited bushfire practitioner.
nereby certify that I have undertaken the sessment of the above site and determined e Bushfire Attack Level stated above in cordance with the requirements of 5 3959-2018.	Accreditation No. 37803 Signature Date 5/7/21
	Authorized Practitioner Stamp

Reference on the assessment and determination of the bioinfire Attack Level contained in this certificate should not extend beyond a parked of 12 months from the date of issue of the certificate. () this certificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accordited Practitioner and where required an optimal certificate issued.





This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire

Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details an	d Description of Works					
Address Details	Unit no	Street no	Lot no 266	Street name / Plan Reference trenic Road		
	Suburb Southern	River			State WA	Postcode 6110
Local government area	City of G	osnells				
Main BCA class of the building	Class 1a	Use(s buildi) of the ng	Residential dwelling		
Description of the building or works	Construc	tion of a sing	le Class 1a	a building and associated Class 10:	a building/s	

Determination of Highes	t Bushfire Attack Level			
AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/Upslope	34m	BAI 12.5

lame lac Cockerill	
Company Details BS&G Australia Pty Ltd T/A Strategen JBS&G	I hereby declare that I am a BPAD accredited bushfire practitioner.
I hereby certify that I have undertaken the assessment of the above site and determined	Accreditation No. 378 ± 3 Signature
he Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	Date 5/7/2

Reliance on the assessment and determination of the Budghe Attack Level contained in this certificate should not extend beyond a period of 22 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommended that the volidity of the determination be confirmed with the Accredited Practitioner and where regularit on updated certificate issued.





Determined in accordance with AS 3959-2018

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Property Details an	d Description of Works				
Address Details	Unit no	Street no	Lot no 267	Street name / Plan Reference Irenic Road	
	Suburb Southern	River		State Postcode WA 6110	
Local government area	City of G	osnells			
Main BCA class of the building	Class 1a	Use(s buildi) of the ng	Residential dwelling	
Description of the building or works	Construc	tion of a sing	le Class 1a	a building and associated Class 10a building/s	

Determination of Highes	it Bushfire Attack Level			The second second
AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/Upslope	43m	BAL - 12.5

3PAD Accredited Practitioner Details	
Vame Zac Cockerill	
ompany Details IS&G Australia Pty Ltd T/A Strategen JBS&G	I hereby declare that I am a BPAD accredited bushfire practitioner.
hereby certify that I have undertaken the assessment of the above site and determined	Accreditation No. 37803 Signature
e Bushfire Attack Level stated above in cordance with the requirements of 3959-2018.	Date 05/7/21
	Authorised Practicioner Stario

Refinece on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a period of 22 months from the date of issue of the vertificate. If this certificate was haved more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated certificate issuest.





This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details an	d Description of Works					
Address Details	Unit no	Street no	Lot no 268	Street name / Plan Reference Irenic Road		
	Suburb Southern	River		17	itate NA	Postcode 6110
Local government area	City of G					
Main BCA class of the building	Class 1a	Use(s buildi) of the	Residential dwelling		
Description of the building or works	Construc	tion of a sing	le Class 1	a building and associated Class 10a	building/s	

Determination of Highes	etermination of Highest Bushfire Attack Level			
AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/Upslope	53m	BAL-12.5

BPAD Accredited Practitioner Details			
Name Zac Cockerill			
Company Details BS&G Australia Pty Ltd T/A Strategen JBS&G	I hereby declare that I am a BPAD accredited bushfire practitioner.		
hereby certify that I have undertaken the ssessment of the above site and determined he Bushfire Attack Level stated above in ccordance with the requirements of \$ 3959-2018.	Accreditation No. 37803 Signature Date 5/7/24		
	Authorised Practitioner Stamp		

Behavies on the assessment and determination of the Bushfire Attack Level contained in this contificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months rays, it is recommended that the volidity of the determination be confirmed with the Accredited Practitionar and where required an updated certificate issued.





This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details an	d Description of Works					
Address Details	Unit no	Street no	Lot no 269	Street name / Plan Reference Irenic Road		
	Suburb Southern	n River		State Pos WA 611	tcode D	
Local government area	City of G	osnells				
Main BCA class of the building	Class 1a) of the ng	Residential dwelling		
Description of the building or works	Construc	tion of a sing	de Class 1	a building and associated Class 10a building/s		

Determination of Highes	t Bushfire Attack Level			A REAL PROPERTY AND
AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/Upslope	62m	BAI12.5

Name Zac Cockerill	
Company Details IBS&G Australia Pty Ltd T/A Strategen JBS&G	I hereby declare that I am a BPAD accredited bushfire practitioner. Accreditation No. 37803
hereby certify that I have undertaken the assessment of the above site and determined	Signature XV
the Bushfire Attack Level stated above in accordance with the requirements of	Date 5/7/21

Reference on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a partial of 22 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, & is recommended that the volidity of the determination lie confirmed with the Accredited Practitioner and where required an updated certificate issued.





Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details an	d Description of Works					and the lot of the
Address Details	Unit no	Street no	Lot no 270	Street name / Plan Reference Kenchuto Way		
	Suburb Southern	River			State WA	Postcode 6110
Local government area	City of G	osnells				
Main BCA class of the building	Class 1a	Use(s buildi) of the ing	Residential dwelling		
Description of the building or works	Construc	tion of a sing	le Class 1	a building and associated Class 10	ə building/s	

Determination of Highes	t Bushfire Attack Level			and the second
AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/Upslope	43m	BAL-12.5

lame lac Cockerill	
Company Details BS&G Australia Pty Ltd T/A Strategen JBS&G	I hereby declare that I am a BPAD accredited bushfire practitioner. Accreditation No. 37803
hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	Signature Date $5/7/21$

Behavice on the assessment and determination of the Bushfire Attack Level coatained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months age, it is recommended that the wideling of the determination be confirmed with the Accordinal Practitioner and where required an updated certificate levent.





This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details and	d Descripti	on of Works			States and	Statute and
Address Details	Unit no	Street no	Lot no 271	Street name / Plan Referen Kenchuto Way	ice	10.0
	Suburb Southern	River		1	State WA	Postcode 6110
Local government area	City of G	osnells				
Main BCA class of the building	Class 1a	Use(s buildi) of the ng	Residential dwelling		
Description of the building or works	Construc	tion of a sing	le Class 1	a building and associated Clas	s 10a building/s	

Determination of Highes	t Bushfire Attack Level			
AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/Upslope	43m	BAL-12.5

BPAD Accredited Practitioner Details				
Name Zac Cockerill				
Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of	I hereby declare that I am a BPAD accredited bushfire practitioner. Accreditation No. 37803			
	Signature			
	Date 5/7/21			
AS 3959-2018.	- Internet in the second se			
	Authorised Practitioner Stamp			

Behavior on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the cartificate. If this certificate was issued more than 12 months upp, 0 is recommended that the validity of the determination be confirmed with the Accordingly Practitioner and where required an updated certificate issued.





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Property Details an	d Descripti	on of Works		No. of Concession, Name	ALL DESCRIPTION OF	
Address Details	Unit no	Street no	Lot no 272	Street name / Plan Refer Kenchuto Way	ence	
	Suburb Southern	River		4	State WA	Postcode 6110
Local government area	City of G	osnells				
Main BCA class of the building	Class 1a	Use(s buildi) of the ing	Residential dwelling		
Description of the building or works	Construc	tion of a sing	le Class 1	a building and associated Cl	ass 10a building/s	

Determination of Highes	t Bushfire Attack Level			and the second second
AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/Upslope	43m	BAL-12.5

BPAD Accredited Practitioner Details	
Name Zac Cockerill	
Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G	I hereby declare that I am a BPAD accredited bushfire practitioner.
I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	Accreditation No. 37553 Signature 12 Date 5/7/21
	Date JIT C

Relance on the assessment and determination of the Bushfire Attack Level containent in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was based more than 12 months age, it is recommended that the values of the determination be confirmed with the Accordined Practicioner and where required an updated certificate issued.





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Property Details an	d Descripti	on of Works	W/			
Address Details	Unit no	Street no	Lot no 273	Street name / Plan Reference Kenchuto Way		
	Suburb Southern	River			State WA	Postcode 6110
Local government area	City of G	osnells				
Main BCA class of the building	Class 1a) of the ing	Residential dwelling		
Description of the building or works	Construc	tion of a sing	gle Class 1	a building and associated Class 1	0a huilding/s	

S 3959 Assessment Procedure	Vegetation Classification	Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/Upslope	43m	BAL - 12.5

PAD Accredited Practitioner Details	The second s
lame ac Cockerill	
Company Details IBS&G Australia Pty Ltd T/A Strategen JBS&G I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of	I hereby declare that I am a BPAD accredited bushfire practitioner.
	Signature N
	Date 05/7/21
3959-2018.	Authorized Prictitioner Stamp

Reference on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond in period of 12 arouths from the date of issue of the certificate. If this certificate was issued more than 12 martins aga, it is recommended that the validity of the determination he confirmed with the Accordinal Practitioner and where regulated contificate issued.





Bushfire Attack Level (BAL) Certificate Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details an	d Descripti	on of Works	-	and the state of the second second	
Address Details	Unit no	Street no	Lot no 274	Street name / Plan Reference Kenchuto Way	
	Suburb Southerr	ı Biver		State WA	Postcode 6110
Local government area	City of G	osnells			
Main BCA class of the building	Class 1a	Use(s buildi) of the ng	Residential dwelling	
Description of the building or works	Construc	tion of a sing	le Class 1	a building and associated Class 10a building/s	

Determination of Higher	t Bushfire Attack Level			
AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/Upslope	38m	BAL-12.5

BPAD Accredited Practitioner Details			
Name Zac Cockerill	7		
ompany Details IS&G Australia Pty Ltd T/A Strategen J85&G	I hereby declare that I am a BPAD accredited bushfire practitioner.		
hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in	Accreditation No. 37803 Signature		
surdance with the requirements of 3959-2018.	Date 5/7/2		
	Authonised Princititioner Stamp		

Neliance on the assessment and determination of the Bushfire Attack level contained is this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months aga, it is recommended that the validity of the determination be confirmed with the According Practitionee and where required in inductod certificate issued.



Appendix B Vegetation plot photos and description





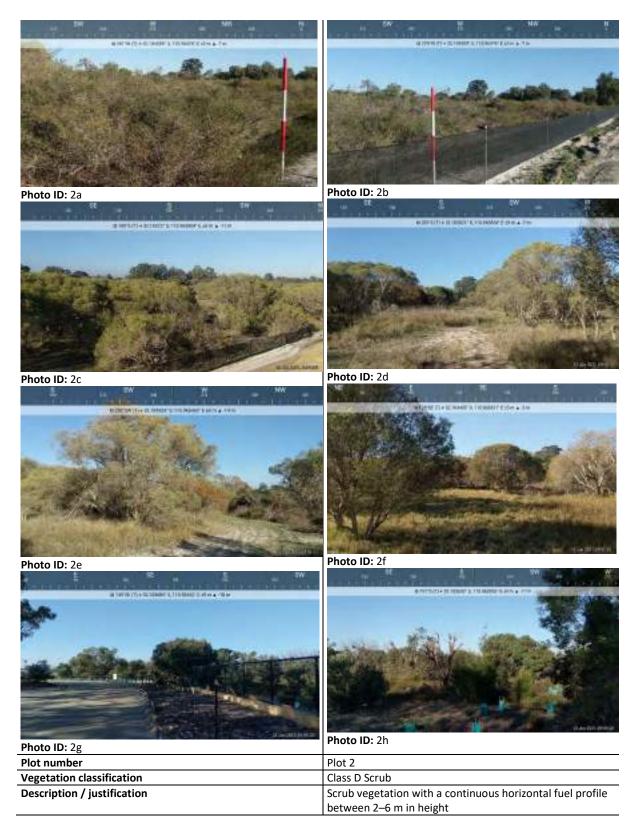






Photo ID: 3a

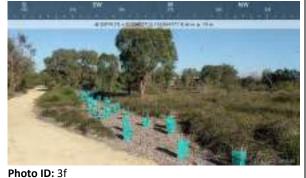


Photo ID: 3c



Photo ID: 3d

Photo ID: 3e



Plot number	Plot 3
Vegetation classification	Class C Shrubland
Description / justification	Complete and proposed drainage basins as per landscape
	plans



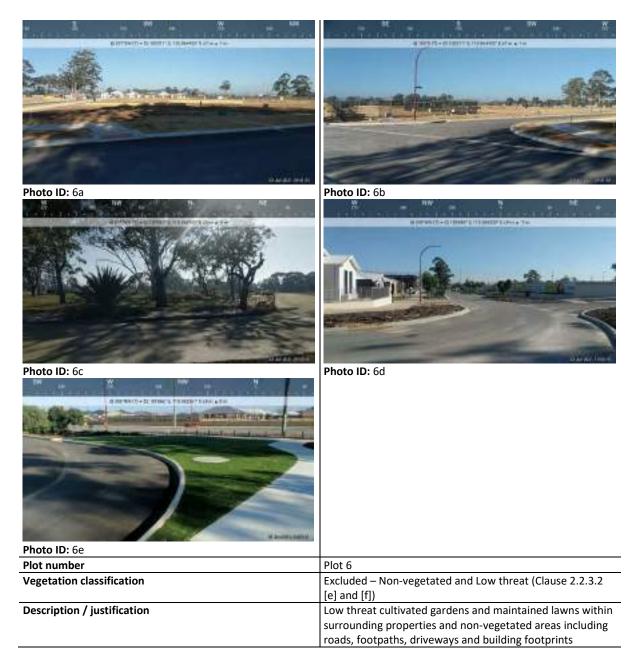


Photo ID: 4a	
Plot number	Plot 4
Vegetation classification	Class G Grassland
Description / justification	Unmanaged grassland on adjacent landholdings



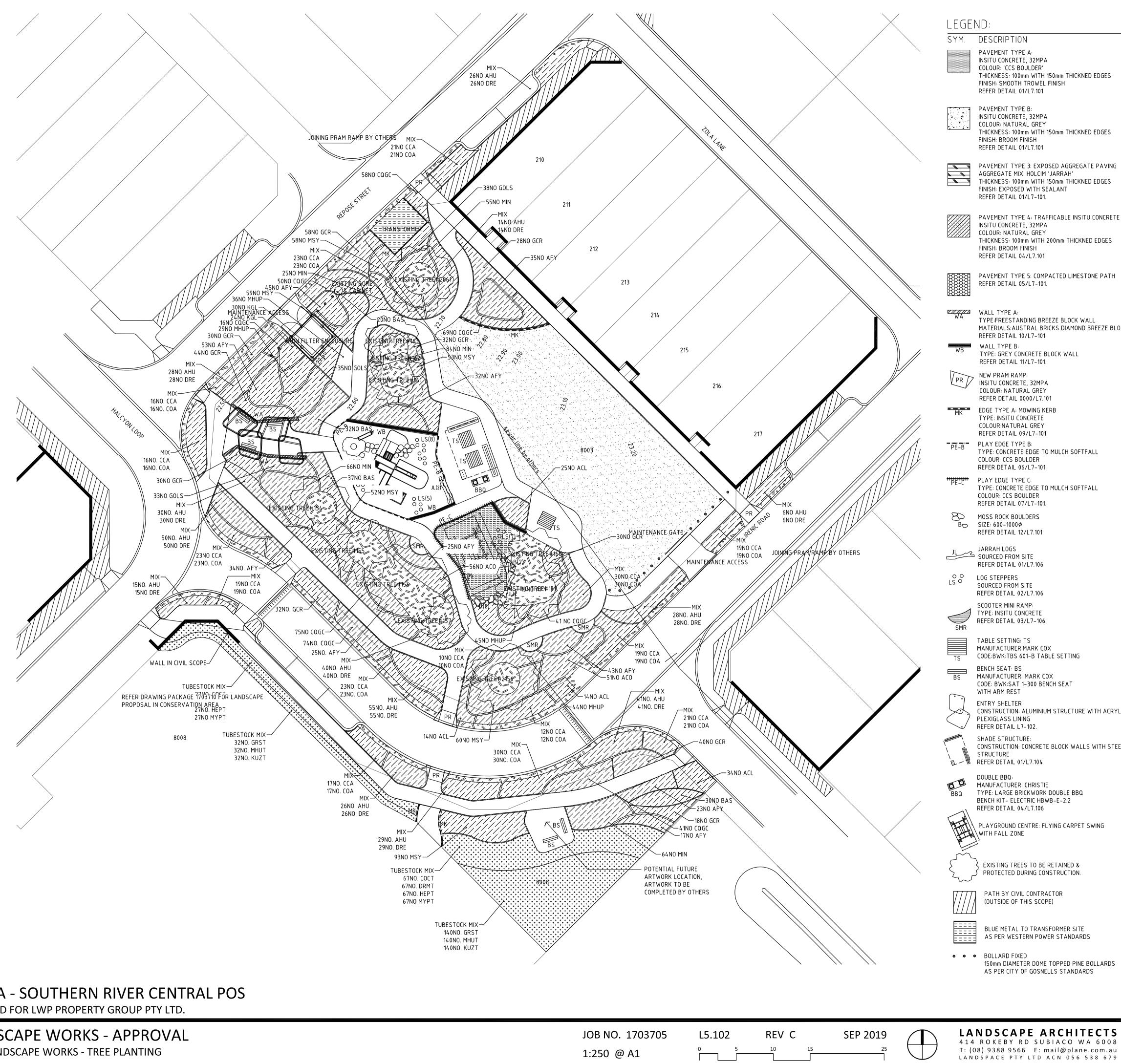
Photo ID: 5a	
Plot number	Plot 5
Vegetation classification	Excluded – Clause 2.2.3.2 [c]
Description / justification	Drainage/verge planting along Southern River Road that is less than 0.25 ha and
	greater than 20 m from any other classified vegetation







Appendix C Landscaping plan



AMBIA - SOUTHERN RIVER CENTRAL POS PREPARED FOR LWP PROPERTY GROUP PTY LTD.

LANDSCAPE WORKS - APPROVAL SOFT LANDSCAPE WORKS - TREE PLANTING

FILE LOCATION: L:\PROJECTS\2017 PROJECTS\17037 SOUTHERN RIVER\1703705 CENTRAL POS\PROJECT\P5 DRAWINGS\CONDOCS\ACAD\1703705 LC4 [C].DWG

SYM.	DESCRIPTION PAVEMENT TYPE A: INSITU CONCRETE, 32MPA COLOUR: 'CCS BOULDER' THICKNESS: 100mm WITH 150mm THICKNED EDGES FINISH: SMOOTH TROWEL FINISH REFER DETAIL 01/L7.101
	PAVEMENT TYPE B: INSITU CONCRETE, 32MPA COLOUR: NATURAL GREY THICKNESS: 100mm WITH 150mm THICKNED EDGES FINISH: BROOM FINISH REFER DETAIL 01/L7.101
<u># </u>	PAVEMENT TYPE 3: EXPOSED AGGREGATE PAVING AGGREGATE MIX: HOLCIM 'JARRAH' THICKNESS: 100mm WITH 150mm THICKNED EDGES FINISH: EXPOSED WITH SEALANT REFER DETAIL 01/L7-101.
	PAVEMENT TYPE 4: TRAFFICABLE INSITU CONCRETE PAVING INSITU CONCRETE, 32MPA COLOUR: NATURAL GREY THICKNESS: 100mm WITH 200mm THICKNED EDGES FINISH: BROOM FINISH REFER DETAIL 04/L7.101
	PAVEMENT TYPE 5: COMPACTED LIMESTONE PATH REFER DETAIL 05/L7-101.
<u>~~~~</u> WA	WALL TYPE A: TYPE:FREESTANDING BREEZE BLOCK WALL MATERIALS:AUSTRAL BRICKS DIAMOND BREEZE BLOCK REFER DETAIL 10/L7-101.
WB	WALL TYPE B: TYPE: GREY CONCRETE BLOCK WALL REFER DETAIL 11/L7-101.
PR	NEW PRAM RAMP: INSITU CONCRETE, 32MPA COLOUR: NATURAL GREY REFER DETAIL 0000/L7.101
MK	EDGE TYPE A: MOWING KERB TYPE: INSITU CONCRETE COLOUR:NATURAL GREY REFER DETAIL 09/L7-101.
PE-B	PLAY EDGE TYPE B: TYPE: CONCRETE EDGE TO MULCH SOFTFALL COLOUR: CCS BOULDER REFER DETAIL 06/L7-101.
₩₩₩₩₩ ₽E-C	PLAY EDGE TYPE C: TYPE: CONCRETE EDGE TO MULCH SOFTFALL COLOUR: CCS BOULDER REFER DETAIL 07/L7-101.
80 BD	MOSS ROCK BOULDERS SIZE: 600–1000Ø REFER DETAIL 12/L7.101
لل مح	JARRAH LOGS SOURCED FROM SITE REFER DETAIL 01/L7.106
	LOG STEPPERS SOURCED FROM SITE REFER DETAIL 02/L7.106
SMR	SCOOTER MINI RAMP: TYPE: INSITU CONCRETE REFER DETAIL 03/L7-106.
TS	TABLE SETTING: TS MANUFACTURER:MARK COX CODE:BWK:TBS 601-B TABLE SETTING
BS	BENCH SEAT: BS MANUFACTURER: MARK COX CODE: BWK:SAT 1–300 BENCH SEAT WITH ARM REST
	ENTRY SHELTER CONSTRUCTION: ALUMINIUM STRUCTURE WITH ACRYLIC PLEXIGLASS LINING REFER DETAIL L7-102.
	SHADE STRUCTURE: CONSTRUCTION: CONCRETE BLOCK WALLS WITH STEEL STRUCTURE REFER DETAIL 01/L7.104
BBQ	DOUBLE BBQ: MANUFACTURER: CHRISTIE TYPE: LARGE BRICKWORK DOUBLE BBQ BENCH KIT- ELECTRIC HBWB-E-2.2 REFER DETAIL 04/L7.106
	PLAYGROUND CENTRE: FLYING CARPET SWING WITH FALL ZONE
	EXISTING TREES TO BE RETAINED & PROTECTED DURING CONSTRUCTION.
	PATH BY CIVIL CONTRACTOR (OUTSIDE OF THIS SCOPE)
	BLUE METAL TO TRANSFORMER SITE AS PER WESTERN POWER STANDARDS
• • •	 BOLLARD FIXED 150mm DIAMETER DOME TOPPED PINE BOLLARDS AS PER CITY OF GOSNELLS STANDARDS

PLOT DATE: 24/10/2019 12:22:13 PM

PLOTTED BY: KDAWSON



This drawing shall not be used for construction purposes unless Revised 0 Issued for Construction and signed and approved by the Certifying Landscape Architect. Verify all dimensions on site before commencing work or ordering materials. Refer any discrepancy to Landscape Architect before proceeding with the works. DO NOT SCALE FROM THE DRAWING

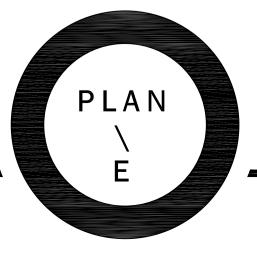
DATE	REV	DESCRIPTION	BY	AP
23.05.19	А	ISSUED FOR APPROVAL	ML	KD
08.08.19	В	UPDATED TO SUIT COUNCIL COMMENTS	KD	KD
23.10.19	С	UPDATED TO SUIT COUNCIL COMMENTS	ML	KD

LEGEND:	
---------	--

SYM.	DESCRIPTION
	GARDEN BED TYPE A: SHRUBS IRRIGATED: YES
	MULCH: 75mm (THK) ENVIROMULCH
	IMPORTED SOIL CONDITIONER: 50mm
	GARDEN BED TYPE B: TUBESTOCK IRRIGATED: NO
* * * * * * * * * * * * * * * * * * * *	MULCH: 75mm (THK) ENVIROMULCH
	IMPORTED SOILCONDITIONER: 50mm OR
	TURF GRASSING: KIKUYU IRRIGATED: YES
	IMPORTED SAND: 100mm TURF SAND
	MULCH ONLY:
1,1=	DEPTH: 100mm, SUPPLY & INSTALL.
	SOFTFALL TYPE 1: CLEAN WHITE SAND
	DEPTH: 400mm DEEP ON COMPACTED SUBGRADE,
1	REFER DETAIL 06/L7-101.
	SOFTFALL TYPE 2: PLAY MULCH DEPTH: 400mm DEEP
	ON COMPACTED SUBGRADE.
	REFER DETAIL 07/L7-101.
\sim	
$\hat{\boldsymbol{z}}$	EXISTING TREES TO BE RETAINED & PROTECTED DURING CONSTRUCTION.
-	

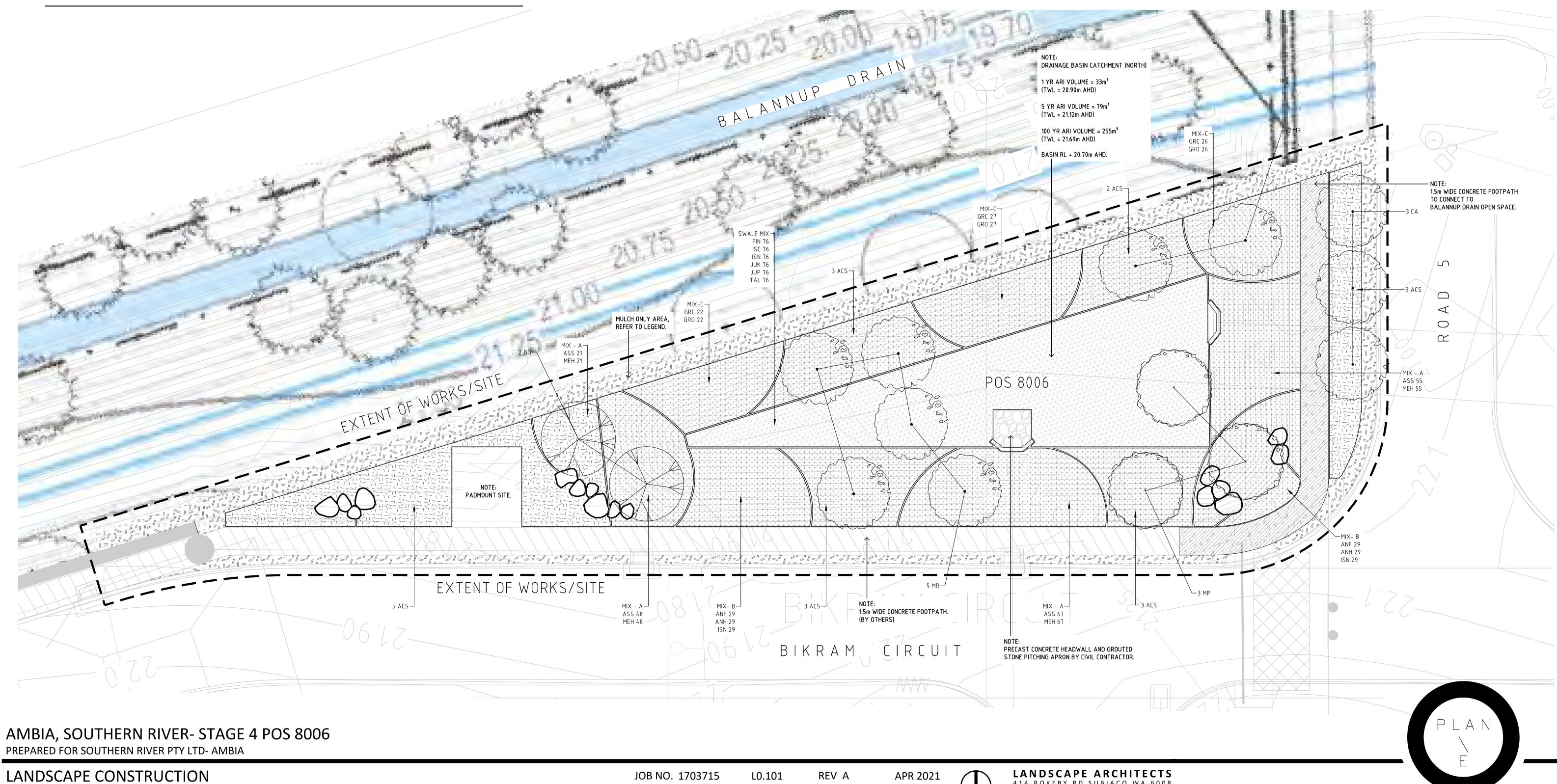
NOTE:

STREET TREES ARE TO BE LOCATED AT A MIN CLEARANCE OF 7m FROM STREET LIGHTS & 1.2m FROM SIDE ENTRY DRAINAGE PITS & SERVICE PITS AS PER COUNCIL/SHIRE REQUIREMENTS. IMPORTED SOIL TO ALL TREES INSTALLED BY CONTRACTOR. LANDSCAPE CONTRACTOR IS TO PEG ALL TREE LOCATIONS TO THE SUPERINTENDENT'S APPROVAL PRIOR TO INSTALLATION. PLANTS USED IN MIXED PLANTING ARE TO BE SPACED AS SHOWN & PLACED WHERE NO MORE THAN THREE (3) PLANTS OF THE SAME SPECIES ARE ADJACENT TO EACH OTHER. ALL PLANTING TO BE OFFSET 500mm FROM ROAD KERBS AND FOOTPATHS AS PER GOSNELLS STANDARDS ALL ROAD KERBS TO BE AS PER CIVIL ENGINEERS DRAWINGS AND GOSNELLS STANDARDS



LEGEND: POS 8006

								r		-
	PAVEMENT TYPE A: PEDESTRIAN (BY OTHERS)			GARDEN BED (TYPE A):	88 Sq.M.	Key	Botanic Name	I	Pot	Spa
	INSITU GREY CONCRETE			IRRIGATED			BANKSIA GRANDIS		100LT	
	MPa: 32MPA			MULCH: 75mm PINE BARK MULCH			CUPANIOPSIS ANACARDIOIDES 'TUC		150LT	
	THICKNESS: 100mm WITH 150mm THICKENED EDGES			SITE SOIL CONDITIONER: 100mm			MELALEUCA PRESSIANA		100LT	
	Finish: Broom Finish, no tool edges or joints.			'C' WISE' HORTICULTURE SOIL IMPROVER.		MR	MELALEUCA RHAPHIOPHYLLA		100LT	AS S
///////////////////////////////////////	PAVEMENT TYPE B: PEDESTRIAN	38 Sq.M.		GARDEN BED (TYPE B): TUBESTOCK PLANTING	139 Sq.M.	SH	RUB PLANTING			
	INSITU GREY CONCRETE	50 54.11.		TEMPORARY BROADSPRAY IRRIGATED 50mm DEPTH INFILTRATION 'ECO' MEDIA		Key	Botanic Name	Pot	Sp;	acing
891	MPa: 32MPA			NO MULCH		ACS	ACACIA SALIGNA PROSTRATE	200mm	3.0 п	m
	THICKNESS: 100mm WITH 150mm THICKENED EDGES FINISH: BROOM FINISH, NO TOOL EDGES OR JOINTS.		· · · · · · · · · · · · · · · · · · ·	GARDEN BED (TYPE C):	331 Sq.M.	SW	ALE MIX			
			$\begin{array}{c} \times \times \times \times \times \times \\ \times \times \times \times \times \times \times \\ \times \times \times \times $	TUBESTOCK PLANTING TO BASIN SIDES	•	Key	Botanic Name	Pot	Spac	ing
$\langle \rangle$	INSITU CONCRETE PRAM RAMPS			TEMPORARY BROADSPRAY IRRIGATED		FIN	FICINIA NODOSA	TUBE	550 mr	
	TO MATCH PAVEMENT TYPE A.			SOIL CONDITIONER MIX: PRE-PLANTING WEED TREATMENT GIN GIN LOAM 30% C WISE HORTICULTURE 70%, 15mm SOIL		ISC	ISOLEPIS CERNUA	TUBE	550 mr	m
\checkmark				CONDITIONER DEPTH. MULCH: 75mm DEEP PINE BARK MULCH		ISN	ISOLEPIS NODOSA	TUBE	550 mr	m
$\sim \sim$	MOSS ROCK BOULDER	16 No'S.				JUK		TUBE	550 mr	
LR	SIZE: 1000–1200Ø			MULCH ONLY TYPE A:	116 Sq.M.	JUP			550 mr	
$\bigcirc \bigcirc$				NO IRRIGATION TYPE: IMPORTED PINE BARK MULCH		TAL	TAXANDRIA LINEARIFOLIA	TUBE	550 mr	m
DRA	CULVERT & STONE PITCHING		Ę´ " ″.s	DEPTH: 100mm						
E S	(BY OTHERS).			SUPPLY & INSTALL.						



AMBIA, SOUTHERN RIVER- STAGE 4 POS 8006 PREPARED FOR SOUTHERN RIVER PTY LTD- AMBIA

LANDSCAPE CONCEPT PLAN

FILE LOCATION: L:\PROJECTS\2017 PROJECTS\17037 SOUTHERN RIVER\1703715 AMBIA - STAGE 4\PROJECT\P5 DRAWINGS\CONDOCS\ACAD\1703715 LC.DWG

TREE PLANTING

PLANTING						
otanic Name	F	°ot	Spacin	g	Qty.	
NKSIA GRANDIS		1	00LT	AS SHOW	Ν	2
PANIOPSIS ANACARDIOIDES 'TU	CKER00	1	50LT	AS SHOW	Ν	3
LALEUCA PRESSIANA		1	00LT	AS SHOW	Ν	3
LALEUCA RHAPHIOPHYLLA		1	00LT	AS SHOW	Ν	7
RUB PLANTING						
3otanic Name	Pot	Pot Spa		acing Q		ty.
ACACIA SALIGNA PROSTRATE	iNA PROSTRATE 200mm		3.0	3.0 m ')
LE MIX						
Botanic Name	Pot		Spa	cing	QI	-у.
FICINIA NODOSA TUBE 550 mm 7		76				
ISOLEPIS CERNUA TUBE			550 mm 7		76	
ISOLEPIS NODOSA	TUBE	550 mm		mm 76		
JUNCUS KRAUSSII	TUBE		550 m	m	76	
JUNCUS PALLIDUS	TUBE		550 m	m	76	
TAXANDRIA LINEARIFOLIA	TUBE		550 m	m	76	
	otanic Name NKSIA GRANDIS PANIOPSIS ANACARDIOIDES 'TU LALEUCA PRESSIANA LALEUCA RHAPHIOPHYLLA JB PLANTING Botanic Name ACACIA SALIGNA PROSTRATE LE MIX Botanic Name FICINIA NODOSA ISOLEPIS CERNUA ISOLEPIS NODOSA JUNCUS KRAUSSII JUNCUS PALLIDUS	otanic Name NKSIA GRANDIS PANIOPSIS ANACARDIOIDES 'TUCKEROO' LALEUCA PRESSIANA LALEUCA RHAPHIOPHYLLA JB PLANTING Botanic Name Pot ACACIA SALIGNA PROSTRATE 200mr LE MIX Botanic Name Pot FICINIA NODOSA TUBE ISOLEPIS CERNUA TUBE ISOLEPIS NODOSA TUBE JUNCUS KRAUSSII TUBE	Principal Principa	PotNKSIA GRANDIS100LTPANIOPSIS ANACARDIOIDES 'TUCKEROO'150LTLALEUCA PRESSIANA100LTLALEUCA RHAPHIOPHYLLA100LTJB PLANTING100LTBotanic NamePotSpACACIA SALIGNA PROSTRATE200mm3.0LE MIXFICINIA NODOSATUBE550 mISOLEPIS CERNUATUBE550 mJUNCUS KRAUSSIITUBEJUNCUS PALLIDUSTUBE550 m	Detanic NamePotSpacingNKSIA GRANDIS100LTAS SHOWPANIOPSIS ANACARDIOIDES 'TUCKEROO'150LTAS SHOWLALEUCA PRESSIANA100LTAS SHOWLALEUCA RHAPHIOPHYLLA100LTAS SHOWJB PLANTING100LTAS SHOWBotanic NamePotSpacingACACIA SALIGNA PROSTRATE200mm3.0 mLE MIXStonm100LS StongFICINIA NODOSATUBE550 mmISOLEPIS CERNUATUBE550 mmJUNCUS KRAUSSIITUBE550 mmJUNCUS PALLIDUSTUBE550 mm	Detanic NamePotSpacingNKSIA GRANDIS100LTAS SHOWNPANIOPSIS ANACARDIOIDES 'TUCKEROO'150LTAS SHOWNLALEUCA PRESSIANA100LTAS SHOWNLALEUCA RHAPHIOPHYLLA100LTAS SHOWNJB PLANTING3.0 m19Botanic NamePotSpacingQACACIA SALIGNA PROSTRATE200mm3.0 m19LE MIXFICINIA NODOSATUBE550 mm76ISOLEPIS CERNUATUBE550 mm76JUNCUS KRAUSSIITUBE550 mm76JUNCUS PALLIDUSTUBE550 mm76

PLANTING MIX – A

Key	Botanic Name		Pot Sp		Spacing	Qty.		
ASS	ASTARTEA SCOPARIA		TUBE		550 mm	191		
MEH	MELALEUCA HUEGELII PROSTRA	TE	TUBE		550 mm	191		
PLANTING MIX – B								
Key	Botanic Name		Pot		Spacing	Qty.		
ANF	ANIGOZANTHOS FLAVIDUS YELLOW			m	550 mm	58		
ANH	ANIGOZANTHOS HUMILIS		140m	140mm 550 mm		58		
ISN	ISOLEPIS NODOSA		140m	m	550 mm	58		
PLANTING MIX – C								
Key	Botanic Name	Pot	Pot		Sp		acing	Qty.
GRC	GREVILLEA CRITHMIFOLIA	TUBE	TUBE 7		ШШ	75		
GRO	GREVILLEA OLIVACEA	TUBE		700 mm		75		

NOTE:

1. STREET TREE SPECIES IN ACCORDANCE WITH STREET TREE MASTER PLAN. 2. VEGETATED BIOFILTRATION BASIN TO BE TEMPORARILY IRRIGATED FOR MINIMUM 2 SUMMERS UNTIL PLANT ESTABLISHMENT IS ACHIEVED.

1:100 @ A1

LANDSCAPE ARCHITECTS 414 ROKEBY RD SUBIACO WA 6008 T: (08) 9388 9566 E: mail@plane.com.au LANDSPACE PTY LTD ACN 056 538 679

PLOT DATE: 21/04/2021 2:10:07 PM

PLOTTED BY: MOHAN

CERTIFICATION: This drawing shall not be used for construction purposes unless Revised 0 Issued for Construction and signed and approved by the Certifying Landscape Architect. Verify all dimensions on site before commencing work or ordering materials. Refer any discrepancy to Landscape Architect before proceeding with the works. DO NOT SCALE FROM THE DRAWING

BY AP

ML AB

DATE REV DESCRIPTION 21.04.21 A ISSUED FOR COUNCIL COMMENT

TREE PLANTING	PLANTING MIX – C	LEGEND:
KeyBotanic NamePotSpacingQty.AFALLOCASUARINA FRASERIANA100LTAS SHOWN2	KeyBotanic NamePotSpacingQty.ALFALLOCASUARINA FRASERIANATUBE850 mm2	PAVEMENT TYPE A: COMPACTED LIMESTONE PATH 450 Sq.M. (3.0m WIDE) WITH 0.5m MULCH SHOULDER EITHER
BG BANKSIA GRANDIS 150LT AS SHOWN 5 CA CUPANIOPSIS ANACARDIOIDES 'TUCKEROO' 150LT AS SHOWN 3	ASS ASTARTEA SCOPARIA TUBE 700 mm 15 BES BEAUFORTIA SQUARROSA TUBE 750 mm 13	SIDE FOR FIRE VEHICLE ACCESS.
EMEUCALYPTUS MACROCARPA30LTAS SHOWN6ETEUCALYPTUS TODTIANA90LTAS SHOWN32	CALCALOTHAMNUS QUADRIFIDUSTUBE750 mm13COACONOSTYLIS ACULEATATUBE400 mm181JUPJUNCUS PALLIDUSTUBE400 mm181	STRENGTH: 32Mpa COLOUR: 'CCS POMPEII ASH'
SHRUB PLANTING Key Botanic Name Pot Spacing Qty.	KUG KUNZEA GLABRESCES TUBE 800 mm 5 LEL LEPIDOSPERMA LONGITUDIANALE TUBE 750 mm 26	100mm THICK WITH 150mm THICKENED EDGES, SMOOTH TROWEL FINISH.
ACS ACACIA SALIGNA PROSTRATE 200mm 2.5 m 16 PLANTING MIX – A	MEIMELALEUCA INCANATUBE750 mm13MELMELALEUCA LATERITIATUBE750 mm13	PAVEMENT TYPE C: COMPACTED LIMESTONE PATH 30 Sq.M. THICKNESS: 100mm.
Key Botanic Name Pot Spacing Qty.	MERMELALEUCA RHAPHIOPHYLLATUBE850 mm4PAOPATTERSONIA OCCIDENTALISTUBE400 mm90	MOSS ROCK BOULDER 23 No'S.
GRCGREVILLA CRITHMIFOLIA PROSTRATE140mm800 mm122HEPHEMIANDRA PUNGENS ALBA140mm800 mm122MEHMELALEUCA HUEGELII PROSTRATE140mm800 mm122	RECREGELIA CILIATATUBE750 mm13TALTAXANDRIA LINEARIFOLIATUBE750 mm13	SIZE: 1000-1200mm DIAMETER CAST INTO PAVEMENT OR PLACED INTO GARDEN BED.
PLANTING MIX – B	PLANTING MIX – D Key Botanic Name Pot Spacing Qty.	BENCH SEAT: PREFABRICATED BENCH SEAT 1 No. BS SUPPLIER: SPARK
KeyBotanic NamePotSpacingQty.ACPACACIA PULCHELLATUBE700 mm103	ASSASTARTEA SCOPARIATUBE700 mm67COACONOSTYLIS ACULEATATUBE400 mm813	MODEL : PRECINCT SEAT 1800x585mm POWDERCOATED FRAME, WOOD COMPOSITE SLATS FIXING: SURFACE MOUNT.
BADBANKSIA ATTENUATA DWARFTUBE700 mm103BAIBANKSIA ILICIFOLIATUBE1.0 m12DEEDEAUSODIA ELECANCTUBE700 mm103	HYAHYPOCALYMMA ANGUSTIFOLIUMTUBE700 mm133JUPJUNCUS PALLIDUSTUBE400 mm813JUDJUNCUS PALLIDUSTUBE51	NEW CONSERVATION FENCE (TO MATCH EXISTING). 251 L.M.
BEEBEAUFORTIA ELEGANSTUBE700 mm103CAQCALOTHAMNUS QUADRIFIDUS PROSTRATETUBE700 mm155GRCGREVILLEA CRITHMIFOLIA PROSTRATETUBE700 mm103	KURKUNZEA RECURVATUBE800 mm51LELLEPIDOSPERMA LONGITUDINALETUBE400 mm813MEIMELALEUCA INCANATUBE700 mm67	DOUBLE POST INFORMATION SIGN (MAX 1.5m HIGH 1 No.
MEIMELALEUCA INCANA NANATUBE700 mm155MEPMELALEUCA PREISSIANATUBE1.0 m12	MELMELALEUCA LATERITIATUBE400 mm204RECREGELIA CILIATATUBE700 mm133	IS AND 0.8m WIDE) WITH WIRE SHOE CLEANING BRUSH ATTACHED, TO MATCH EXISTING.
MESMELALEUCA SERIATATUBE700 mm103METMELALEUCA THYMOIDESTUBE700 mm155		\int NEW PEDESTRIAN ACCESS GATE. 1 No.
MIX-B ACP 43		EXISTING VEGETATION TO BE RETAINED AND PROTECTED AT ALL TIMES.
BAD 43 BAI 5 BEE 43	MIX - A	SUBSOIL DRAINAGE PIPE WITH
CAQ 65 GRC 43	GRC 23 HEP 23 MEH 23	MAINTENANCE RISER (MR) SIDE ENTRY PIT (BY CIVIL CONTRACTOR). SP
MEI 65 MEP 5 MES 43	DOUBLE POST INFO SIGN.	HEADWALL DISCHARGE
MET 65		
		V// 282 ,
	GRC 46 HEP 46 MEH 46	
المالي المالي		7,2
۲ ای او		5 ET
5B 		
PLANTING M Key Botanic N	a <i>S</i> ′ <	
ACP ACACIA PULCI ADC ADENANTHOS	CYGNORUM TUBE 700 mm 93	
BAA BANKSIA ATT BAI BANKSIA ILICI BAM BANKSIA MEN		
BAY BANKSIA DAL DAL DAMPIERA LIN	LANYII TUBE 700 mm 186	
	ATERITIA TUBE 700 mm 186 INCANA NANA TUBE 700 mm 186	
MES MELALEUCA S MET MELALEUCA T REC REGELIA CILIA	HYMOIDES TUBE 700 mm 186	
PLANTING M	1IX – F	
	INA FRASERIANA TUBE 800 mm 14	
ALH ALLOCASUAR BOE BOSSIAEA ER	IOCARPA TUBE 400 mm 225	
COA CONOSTYLIS DAL DAMPIERA LIN HYR HYPOCALYMM	IEARIS TUBE 500 mm 144	
JUP JUNCUS PALL KUG KUNZEA GLAE	IDUS TUBE 400 mm 225	MIX-D

AMBIA, SOUTHERN RIVER- STAGE 5 PREPARED FOR SOUTHERN RIVER PTY LTD- AMBIA

LANDSCAPE CONSTRUCTION - PART POS 8004 & POS 8011 HARD & SOFT WORKS DRAWNG

KUR

MER

Key

COA

COC

KUNZEA RECURVA

MES MELALEUCA SERIATA

PLANTING MIX – G

Botanic Name

MELALEUCA RHAPHIOPHYLLA

PAO PATTERSONIA OCCIDENTALIS TUBE 400 mm

CONOSTYLIS ACULEATA 140mm 450 mm

CONOSTYLIS CANDICANS 140mm 450 mm

TUBE 800 mm

TUBE 500 mm

TUBE 800 mm

Pot

114

144

225

111

111

Spacing Qty.

FILE LOCATION: L:\PROJECTS\2017 PROJECTS\17037 SOUTHERN RIVER\1703715 AMBIA - STAGE 4\PROJECT\P5 DRAWINGS\CONDOCS\ACAD\1703715 LC - POS 8005.DWG



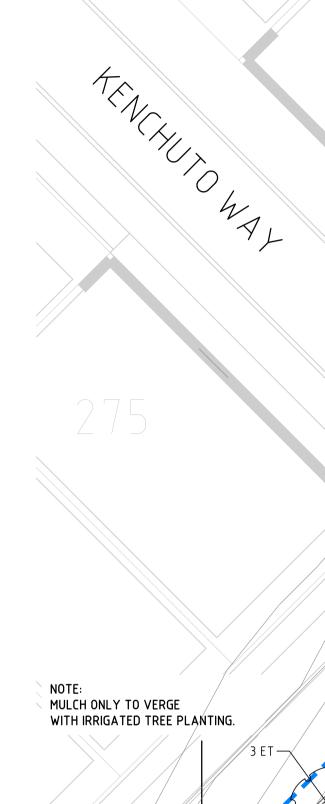
LEGEND:

GARDEN BED (TYPE A): SHRUBS IRRIGATED MULCH: 75mm ENVIROMULCH MULCH SHALL BE DIEBACK FREE, CERTIFICATION PROVIDED PRIOR TO INSTALLATION IMPORTED SOIL CONDITIONER: 15mm'C' WISE' HORTICULTURE.	593 Sq.M.
GARDEN BED (TYPE B): REHAB TUBESTOCK PLANTING, REFER TRANEN MANAGEMENT FOR SPECIES NO IRRIGATION, NO MULCH. IMPORTED SOIL CONDITIONER 50mm, 4 PLANTS PER 1m².	651 Sq.M.
GARDEN BED (TYPE C): SWALE TUBESTOCK PLANTING, REFER TRANEN MANAGEMENT FOR SPECIES NO IRRIGATION. MULCH 75mm THICK ENVIROMULCH. MULCH SHALL BE DIEBACK FREE AND CERTIFICATION PROVIDED PRIOR TO INSTALLATION. IMPORTED SOIL CONDITIONER 50mm, 2 PLANTS PER 1m ² .	1272 Sq.M.
GARDEN BED (TYPE D): BASE OF SWALE TUBESTOCK PLANTING, TEMPORARY BROADSPRAY IRRIGATION. 50mm DEPTH INFILTRATION 'ECO-MEDIA' NO MULCH.	145 Sq.M.
GARDEN BED (TYPE E): BANKS PRE PLANTING WEED TREATMENT TUBESTOCK PLANTING, TEMPORARY BROADSPRAY IRRIGATION. SOIL CONDITIONER MIX: 15mm SOIL CONDITIONER DEPTH, GIN GIN LOAM 30%, C-WISE HORTICULTURE 70%	⁻ 293 Sq.M.
MULCH ONLY TYPE A: VERGE NO IRRIGATION, IRRIGATION TO STREET TREES ONLY TYPE: IMPORTED ENVIROMULCH DEPTH: 100mm SUPPLY & INSTALL. MULCH SHALL BE DIEBACK FREE AND CERTIFICATION PROVIDED PRIOR TO INSTALLATION.	688 Sq.M.
MULCH ONLY TYPE B: BALANNUP DRAIN TYPE: SITE MULCH DEPTH: 100mm INSTALL ONLY. NO IRRIGATION, NO SOIL CONDITIONER.	797 Sq.M.

NOTE:

1. NO TREES TO BE PLANTED ABOVE OR WITHIN 2.0METERS OF SUBSOIL DRAINAGE PIPE.

- 2. TEMPORARY FENCING SHALL BE INSTALLED ALONG PATHWAYS WITHIN CONSERVATION POS DURING CONSTRUCTION ONLY, AS PER MANAGEMENT PLAN.
- 3. CONSERVATION FENCING SHALL BE INSTALLED PERMANENTLY TO THE PERIMETER OF THE CONSERVATION OPEN SPACE AS INDICATED ON THE PLANS.
- 4. FOR ALL PLANTING DETAILS REFER TO THE TRANEN REVEGETATION MANAGEMENT PLAN.
- 5. ALL MULCH TO BE DIEBACK FREE AND CERTIFICATION PROVIDED TO INSTALLATION.
- 6. STREET TREES ARE TO BE LOCATED AT A MIN CLEARANCE OF 7m FROM STREET LIGHTS & 1.2m FROM SIDE ENTRY DRAINAGE PITS & SERVICE PITS AS PER COUNCIL REQUIREMENTS.
- 7. IMPORTED SOIL TO ALL TREES INSTALLED BY CONTRACTOR.
- 8. LANDSCAPE CONTRACTOR IS TO PEG ALL TREE LOCATIONS TO THE SUPERINTENDENT'S APPROVAL PRIOR TO INSTALLATION.
- 9. IRRIGATION WITHIN ROAD VERGE TO STREET TREES ONLY.



TEMPORARY METAL SIGN BY DEVELOPER ADVISING FUTURE STAGED CONSTRUCTION OF PATHWAY.

HYA 39

JUP 239

KUR 15

MEL 60

REC 39

LEL 239 MEI 20

REV A

L4.301

MAY 2021

LANDSCAPE ARCHITECTS 414 ROKEBY RD SUBIACO WA 6008 T: (08) 9388 9566 E: mail@plane.com.au LANDSPACE PTY LTD ACN 056 538 679

PLOT DATE: 24/06/2021 12:36:47 PM

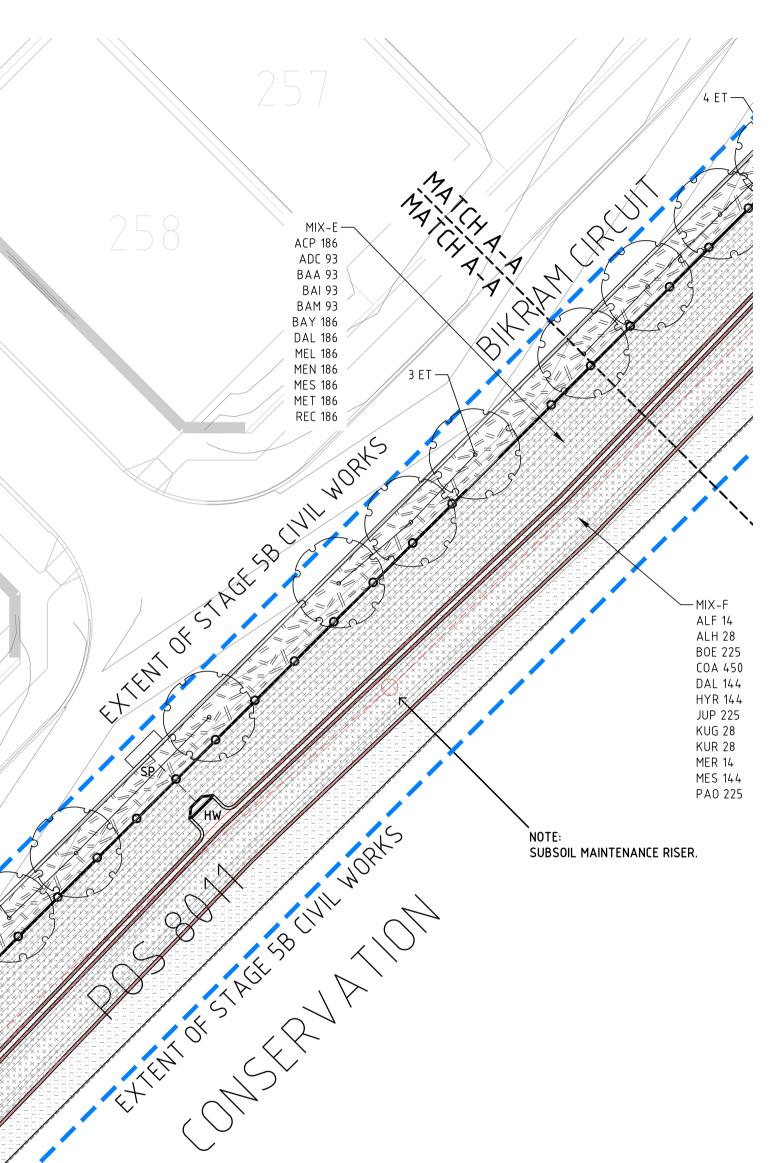


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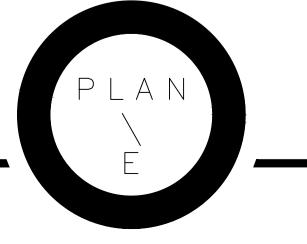
ML AB

DATE REV DESCRIPTION 26.05.21 A ISSUED FOR COUNCIL APPROVAL

CERTIFICATION:



SWALE BASE 6 PLANTS PER 1m² BASIN SIDES MAXIMUM 3 PLANTS PER 1m².



LEGEND:

	PAVEMENT TYPE A: COMPACTED LIMESTONE PATH (3.0m WIDE) WITH 0.5m MULCH SHOULDER EITHER SIDE FOR FIRE VEHICLE ACCESS.	450 Sq.M.
	PAVEMENT TYPE B: INSITU CONCRETE STRENGTH: 32Mpa COLOUR: 'CCS POMPEII ASH' 100mm THICK WITH 150mm THICKENED EDGES, SMOOTH TROWEL FINISH.	43 Sq.M.
	PAVEMENT TYPE C: COMPACTED LIMESTONE PATH THICKNESS: 100mm.	30 Sq.M.
Sc	MOSS ROCK BOULDER SIZE: 1000-1200mm DIAMETER CAST INTO PAVEMENT OR PLACED INTO GARDEN BED.	23 No'S.
BS	BENCH SEAT: PREFABRICATED BENCH SEAT SUPPLIER: SPARK MODEL : PRECINCT SEAT 1800x585mm POWDERCOATED FRAME, WOOD COMPOSITE SLATS FIXING: SURFACE MOUNT.	1 No.
	NEW CONSERVATION FENCE (TO MATCH EXISTING).	251 L.M.
-++++++++	EXISTING CONSERVATION FENCE.	
IS	DOUBLE POST INFORMATION SIGN (MAX 1.5m HIGH AND 0.8m WIDE) WITH WIRE SHOE CLEANING BRUSH ATTACHED, TO MATCH EXISTING.	1 No.
\mathcal{V}	NEW PEDESTRIAN ACCESS GATE.	1 No.
	EXISTING VEGETATION TO BE RETAINED AND PROTECTED AT ALL TIMES.	
	SUBSOIL DRAINAGE PIPE WITH MAINTENANCE RISER (MR)	
SP	SIDE ENTRY PIT (BY CIVIL CONTRACTOR).	
HW	HEADWALL DISCHARGE INTO SWALE (BY OTHERS).	

///

DRAINAGE BASIN CATCHMENT (NORTH)-

TENCHUZO HAJ

MIX-B-

MIX- B ACP 60 BAD 60 BAI 7 BEE 60 CAQ 90 GRC 60 MEI 90 MEP 7 MEC 60

MES 60

MET 90

1 YR ARI VOLUME = $15m^3$ (TWL = 20.90m AHD) 5 YR ARI VOLUME = 57m³ (TWL = 21.12m AHD)10 YR ARI VOLUME = 218m³ (TWL = 21.69m AHD).

LEGEND:

GARDEN BED (TYPE A): SHRUBS IRRIGATED MULCH: 75mm ENVIROMULCH MULCH SHALL BE DIEBACK FREE, CERTIFICATION PROVIDED PRIOR TO INSTALLATION IMPORTED SOIL CONDITIONER: 15mm'C' WISE' HORTICULTURE.	593 Sq.M.
GARDEN BED (TYPE B): REHAB TUBESTOCK PLANTING, REFER TRANEN MANAGEMENT FOR SPECIES NO IRRIGATION, NO MULCH. IMPORTED SOIL CONDITIONER 50mm, 4 PLANTS PER 1m².	651 Sq.M.
GARDEN BED (TYPE C): SWALE TUBESTOCK PLANTING, REFER TRANEN MANAGEMENT FOR SPECIES NO IRRIGATION. MULCH 75mm THICK ENVIROMULCH. MULCH SHALL BE DIEBACK FREE AND CERTIFICATION PROVIDED PRIOR TO INSTALLATION. IMPORTED SOIL CONDITIONER 50mm, 2 PLANTS PER 1m ² .	1272 Sq.M.
GARDEN BED (TYPE D): BASE OF SWALE TUBESTOCK PLANTING, TEMPORARY BROADSPRAY IRRIGATION. 50mm DEPTH INFILTRATION 'ECO-MEDIA' NO MULCH.	145 Sq.M.
GARDEN BED (TYPE E): BANKS PRE PLANTING WEED TREATMENT TUBESTOCK PLANTING, TEMPORARY BROADSPRAY IRRIGATION. SOIL CONDITIONER MIX: 15mm SOIL CONDITIONER DEPTH, GIN GIN LOAM 30%, C-WISE HORTICULTURE 70%	293 Sq.M.
MULCH ONLY TYPE A: VERGE NO IRRIGATION, IRRIGATION TO STREET TREES ONLY TYPE: IMPORTED ENVIROMULCH DEPTH: 100mm SUPPLY & INSTALL. MULCH SHALL BE DIEBACK FREE AND CERTIFICATION PROVIDED PRIOR TO INSTALLATION.	688 Sq.M.
MULCH ONLY TYPE B: BALANNUP DRAIN TYPE: SITE MULCH DEPTH: 100mm INSTALL ONLY. NO IRRIGATION, NO SOIL CONDITIONER.	797 Sq.M.

NOTE:

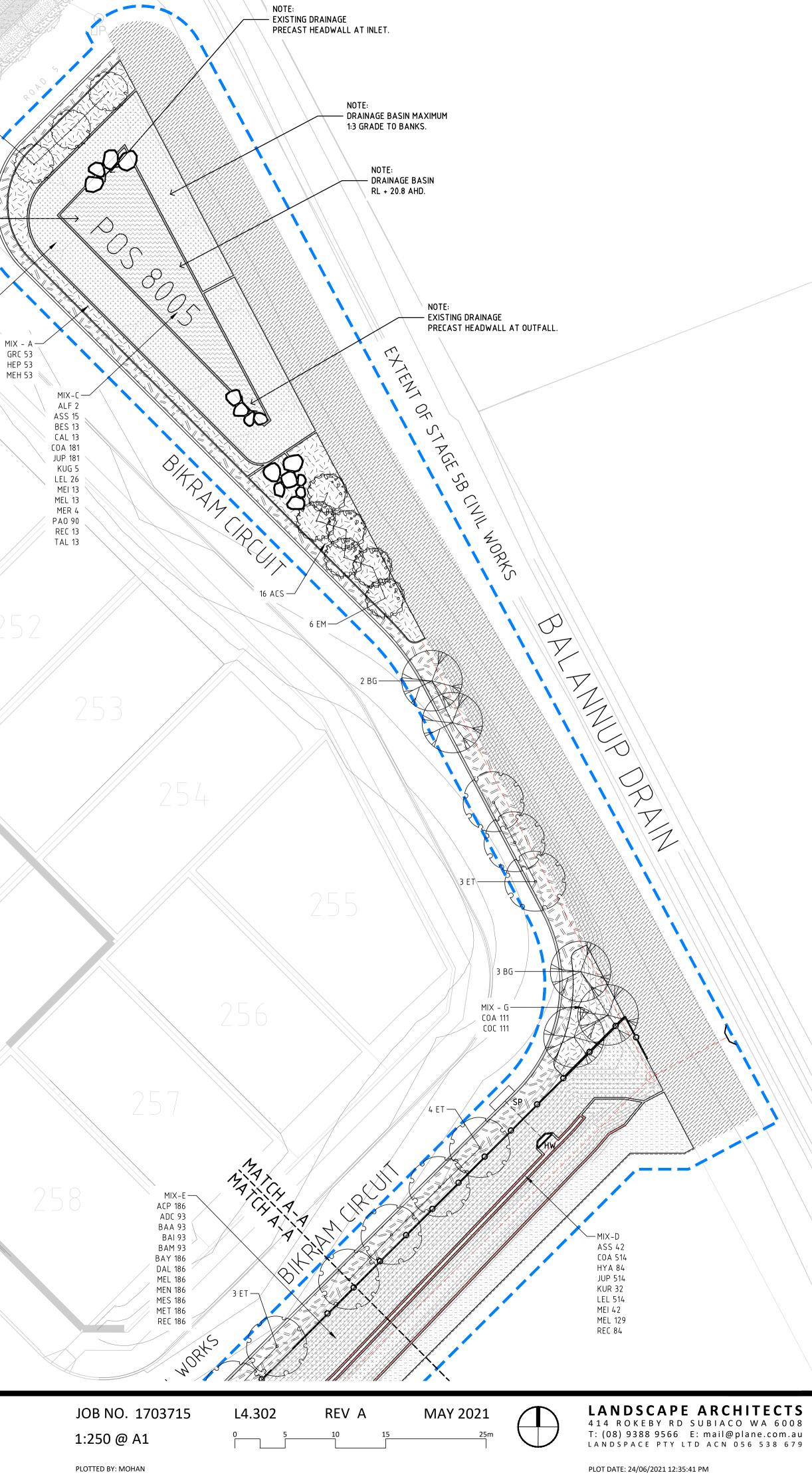
1. NO TREES TO BE PLANTED ABOVE OR WITHIN 2.0METERS OF SUBSOIL DRAINAGE PIPE.

- 2. TEMPORARY FENCING SHALL BE INSTALLED ALONG PATHWAYS WITHIN CONSERVATION POS DURING CONSTRUCTION ONLY, AS PER MANAGEMENT PLAN.
- 3. CONSERVATION FENCING SHALL BE INSTALLED PERMANENTLY TO THE PERIMETER OF THE CONSERVATION OPEN SPACE AS INDICATED ON THE PLANS.
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- 7. IMPORTED SOIL TO ALL TREES INSTALLED BY CONTRACTOR.
- 8. LANDSCAPE CONTRACTOR IS TO PEG ALL TREE LOCATIONS TO THE SUPERINTENDENT'S APPROVAL PRIOR TO INSTALLATION.
- 9. IRRIGATION WITHIN ROAD VERGE TO STREET TREES ONLY.

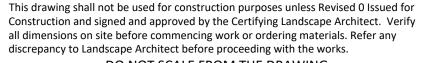
AMBIA, SOUTHERN RIVER- STAGE 5 PREPARED FOR SOUTHERN RIVER PTY LTD- AMBIA

LANDSCAPE CONSTRUCTION - POS 8005 SOFT WORKS DRAWNG

FILE LOCATION: L:\PROJECTS\2017 PROJECTS\17037 SOUTHERN RIVER\1703715 AMBIA - STAGE 4\PROJECT\P5 DRAWINGS\CONDOCS\ACAD\1703715 LC - POS 8005.DWG



CERTIFICATION:



PLAN

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DO NOT SCALE FROM THE DRAWING BY AP DATE REV DESCRIPTION

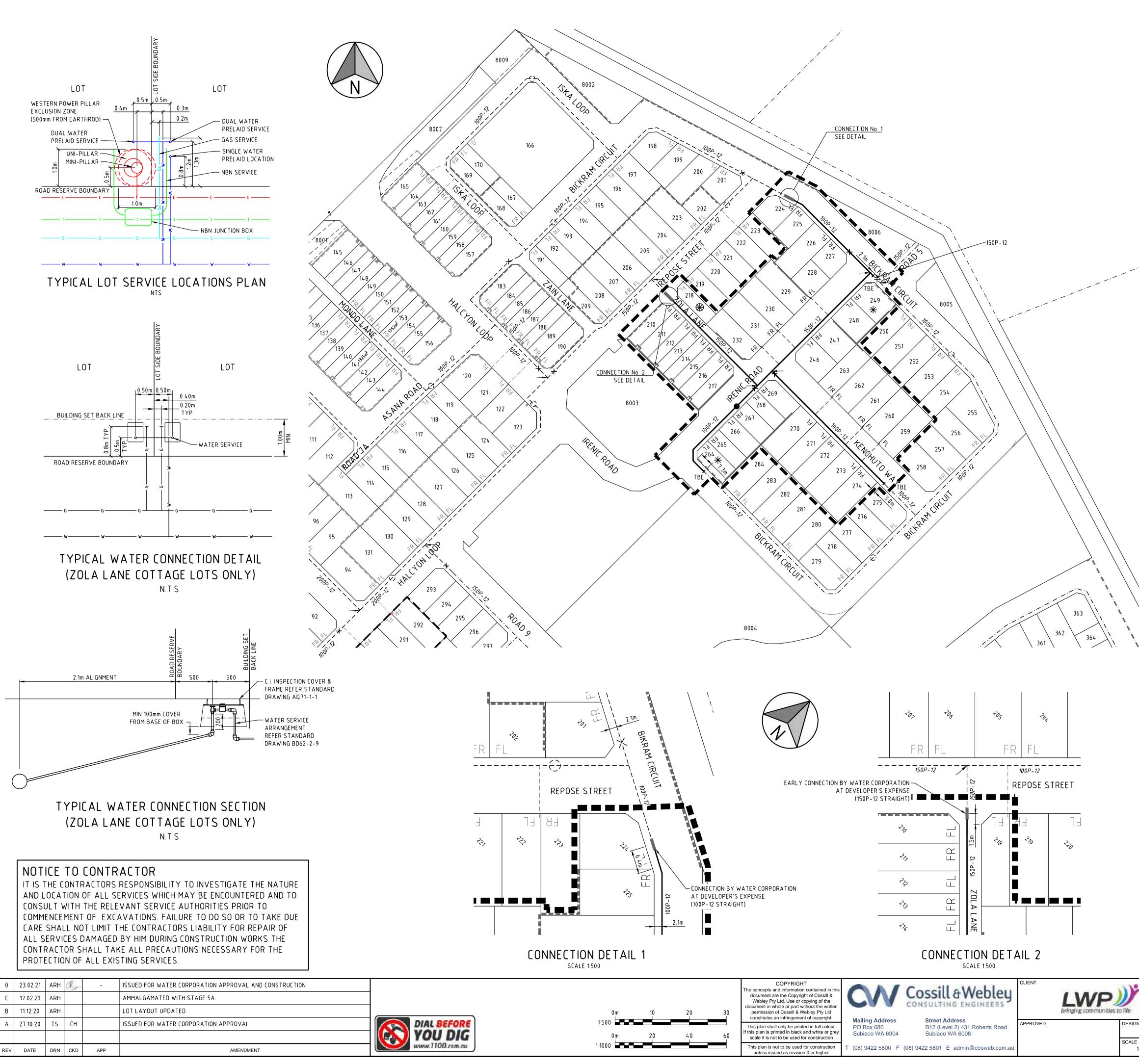
26.05.21 A ISSUED FOR COUNCIL APPROVAL

TREE PLANTING

Key					
	Botanic Name		Pot	Spacir	
AF	ALLOCASUARINA FRASERIANA		100LT		
	BANKSIA GRANDIS		150LT		
CA EM	CUPANIOPSIS ANACARDIOIDES 'TUCK EUCALYPTUS MACROCARPA	150LT 30LT	AS SHOV		
ET	EUCALYPTUS MACROCARPA			AS SHOW	
			90LT	A3 5101	
SHF	RUB PLANTING				
Key	Botanic Name	Pot	S	bacing	Qty.
ACS	ACACIA SALIGNA PROSTRATE	200mm		 5 m	16
	NTING MIX – A				I
			. 1	<u> </u>	
Key	Botanic Name	Po		Spacing	· ·
GRC	GREVILLA CRITHMIFOLIA PROSTRA) mm	800 mm	122
HEP	HEMIANDRA PUNGENS ALBA		Omm	800 mm	122
MEH	MELALEUCA HUEGELII PROSTRATE	14()mm	800 mm	122
PLA	NTING MIX – B				
	Botanic Name		Pot	Spacin	g Qty.
ACP			TUBE	700 mm	103
BAD	BANKSIA ATTENUATA DWARF		TUBE	700 mm	103
BAI	BANKSIA ILICIFOLIA		TUBE	1.0 m	12
BEE	BEAUFORTIA ELEGANS		TUBE	700 mm	103
CAQ	CALOTHAMNUS QUADRIFIDUS PROS	TRATE	TUBE	700 mm	155
GRC	GREVILLEA CRITHMIFOLIA PROSTRA		TUBE	700 mm	103
MEI	MELALEUCA INCANA NANA		TUBE	700 mm	155
MEP	MELALEUCA PREISSIANA		TUBE	_	12
MES	MELALEUCA SERIATA		TUBE	_	103
MET	MELALEUCA THYMOIDES		TUBE	700 mm	155
	NTING MIX – C				
				!_	
Key	Botanic Name	Pot		pacing	Qty.
ALF	ALLOCASUARINA FRASERIANA	TUB		50 mm	2
ASS	ASTARTEA SCOPARIA)0 mm	15
BES	BEAUFORTIA SQUARROSA			50 mm	13
	CALOTHAMNUS QUADRIFIDUS			50 mm	13
	CONOSTYLIS ACULEATA			00 mm	181
JUP				00 mm	181
KUG LEL	KUNZEA GLABRESCES)0 mm 50 mm	5 26
MEI	MELALEUCA INCANA	TUB		50 mm 50 mm	13
MEL	MELALEUCA LATERITIA	TUB		50 mm	13
MER	MELALEUCA RHAPHIOPHYLLA	TUB		50 mm	4
PAO	PATTERSONIA OCCIDENTALIS	TUB		00 mm	90
REC	REGELIA CILIATA	TUB		50 mm	13
TAL	TAXANDRIA LINEARIFOLIA	TUB		50 mm	13
PLA	NTING MIX – D				
	Datania Nama			pacing	
Key	Botanic Name	Pot	13	P =	Qty.
	ASTARTEA SCOPARIA	TUBE		0 mm	67
ASS COA		_	70 40	0 mm 0 mm	67 813
ASS COA HYA	ASTARTEA SCOPARIA CONOSTYLIS ACULEATA HYPOCALYMMA ANGUSTIFOLIUM	TUBE TUBE TUBE	70 40 70	0 mm 0 mm 0 mm	67 813 133
ASS COA HYA JUP	ASTARTEA SCOPARIA CONOSTYLIS ACULEATA HYPOCALYMMA ANGUSTIFOLIUM JUNCUS PALLIDUS	TUBE TUBE TUBE TUBE	70 40 70 40	0 mm 00 mm 00 mm 00 mm	67 813 133 813
ASS COA HYA JUP KUR	ASTARTEA SCOPARIA CONOSTYLIS ACULEATA HYPOCALYMMA ANGUSTIFOLIUM JUNCUS PALLIDUS KUNZEA RECURVA	TUBE TUBE TUBE TUBE TUBE	70 40 70 40 80	0 mm 00 mm 00 mm 00 mm 00 mm	67 813 133 813 51
ASS COA HYA JUP KUR LEL	ASTARTEA SCOPARIA CONOSTYLIS ACULEATA HYPOCALYMMA ANGUSTIFOLIUM JUNCUS PALLIDUS KUNZEA RECURVA LEPIDOSPERMA LONGITUDINALE	TUBE TUBE TUBE TUBE TUBE TUBE	70 40 70 40 80 80	0 mm 0 mm 0 mm 0 mm 0 mm 0 mm	67 813 133 813 51 813
ASS COA HYA JUP KUR LEL MEI	ASTARTEA SCOPARIA CONOSTYLIS ACULEATA HYPOCALYMMA ANGUSTIFOLIUM JUNCUS PALLIDUS KUNZEA RECURVA LEPIDOSPERMA LONGITUDINALE MELALEUCA INCANA	TUBE TUBE TUBE TUBE TUBE TUBE	70 40 70 40 80 40 40	0 mm 00 mm 00 mm 00 mm 00 mm 00 mm 00 mm	67 813 133 813 51 813 67
ASS COA HYA JUP KUR LEL MEI MEL	ASTARTEA SCOPARIA CONOSTYLIS ACULEATA HYPOCALYMMA ANGUSTIFOLIUM JUNCUS PALLIDUS KUNZEA RECURVA LEPIDOSPERMA LONGITUDINALE MELALEUCA INCANA MELALEUCA LATERITIA	TUBE TUBE TUBE TUBE TUBE TUBE TUBE	70 40 70 40 70 40 80 40 70 40 70 40 70 40 70 40 70 40 70 40	0 mm 00 mm 00 mm 00 mm 00 mm 00 mm 00 mm 00 mm	67 813 133 813 51 813 67 204
ASS COA HYA JUP KUR LEL MEI MEL REC	ASTARTEA SCOPARIA CONOSTYLIS ACULEATA HYPOCALYMMA ANGUSTIFOLIUM JUNCUS PALLIDUS KUNZEA RECURVA LEPIDOSPERMA LONGITUDINALE MELALEUCA INCANA MELALEUCA LATERITIA REGELIA CILIATA	TUBE TUBE TUBE TUBE TUBE TUBE	70 40 70 40 70 40 80 40 70 40 70 40 70 40 70 40 70 40 70 40	0 mm 00 mm 00 mm 00 mm 00 mm 00 mm 00 mm	67 813 133 813 51 813 67
ASS COA HYA JUP KUR LEL MEI MEL REC	ASTARTEA SCOPARIA CONOSTYLIS ACULEATA HYPOCALYMMA ANGUSTIFOLIUM JUNCUS PALLIDUS KUNZEA RECURVA LEPIDOSPERMA LONGITUDINALE MELALEUCA INCANA MELALEUCA LATERITIA	TUBE TUBE TUBE TUBE TUBE TUBE TUBE	70 40 70 40 70 40 80 40 70 40 70 40 70 40 70 40 70 40 70 40	0 mm 00 mm 00 mm 00 mm 00 mm 00 mm 00 mm 00 mm	67 813 133 813 51 813 67 204
ASS COA HYA JUP KUR LEL MEI MEL REC PLA	ASTARTEA SCOPARIA CONOSTYLIS ACULEATA HYPOCALYMMA ANGUSTIFOLIUM JUNCUS PALLIDUS KUNZEA RECURVA LEPIDOSPERMA LONGITUDINALE MELALEUCA INCANA MELALEUCA LATERITIA REGELIA CILIATA NTING MIX – E	TUBE TUBE TUBE TUBE TUBE TUBE TUBE TUBE	70 40 70 40 80 40 70 40 70 40	0 mm 00 mm 00 mm 00 mm 00 mm 00 mm 00 mm 00 mm	67 813 133 813 51 813 67 204 133
ASS COA HYA JUP KUR LEL MEL REC PLA Key	ASTARTEA SCOPARIA CONOSTYLIS ACULEATA HYPOCALYMMA ANGUSTIFOLIUM JUNCUS PALLIDUS KUNZEA RECURVA LEPIDOSPERMA LONGITUDINALE MELALEUCA INCANA MELALEUCA LATERITIA REGELIA CILIATA ANTING MIX – E Botanic Name	TUBE TUBE TUBE TUBE TUBE TUBE TUBE TUBE	70 40 70 40 80 40 40 70 40 70 40	0 mm 0 mm 0 mm 0 mm 0 mm 0 mm 0 mm 0 mm	67 813 133 813 51 813 67 204 133
ASS COA HYA JUP KUR LEL MEL MEL REC PLA Key ACP	ASTARTEA SCOPARIA CONOSTYLIS ACULEATA HYPOCALYMMA ANGUSTIFOLIUM JUNCUS PALLIDUS KUNZEA RECURVA LEPIDOSPERMA LONGITUDINALE MELALEUCA INCANA MELALEUCA LATERITIA REGELIA CILIATA NTING MIX – E	TUBE TUBE TUBE TUBE TUBE TUBE TUBE TUBE	70 40 70 40 80 40 70 70 50 70	0 mm 00 mm 00 mm 00 mm 00 mm 00 mm 00 mm 00 mm 00 mm	67 813 133 813 51 813 67 204 133
ASS COA HYA JUP KUR LEL MEI MEI REC PLA Key ACP ADC	ASTARTEA SCOPARIA CONOSTYLIS ACULEATA HYPOCALYMMA ANGUSTIFOLIUM JUNCUS PALLIDUS KUNZEA RECURVA LEPIDOSPERMA LONGITUDINALE MELALEUCA INCANA MELALEUCA LATERITIA REGELIA CILIATA NTING MIX – E Botanic Name ACACIA PULCHELLA	TUBE TUBE TUBE TUBE TUBE TUBE TUBE TUBE	 70 40 70 40 80 40 80 40 70 40 70 70 700 700 700 	0 mm 0 mm 0 mm 0 mm 0 mm 0 mm 0 mm 0 mm	67 813 133 813 51 813 67 204 133 Q†y. 186
ASS COA HYA JUP KUR LEL MEI MEL REC PLA Key ACP ADC BAA	ASTARTEA SCOPARIA CONOSTYLIS ACULEATA HYPOCALYMMA ANGUSTIFOLIUM JUNCUS PALLIDUS KUNZEA RECURVA LEPIDOSPERMA LONGITUDINALE MELALEUCA INCANA MELALEUCA LATERITIA REGELIA CILIATA NTING MIX – E Botanic Name ACACIA PULCHELLA ADENANTHOS CYGNORUM	TUBE TUBE TUBE TUBE TUBE TUBE TUBE TUBE	70 40 70 40 70 40 70 40 70 40 70 40 700 700 700 700 700 700	0 mm 0 mm 0 mm 0 mm 0 mm 0 mm 0 mm 0 mm	67 813 133 813 51 813 67 204 133 Q†y. 186 93
ASS COA HYA JUP KUR LEL MEL MEL MEL REC PLA Key ACP ADC BAA BAA	ASTARTEA SCOPARIA CONOSTYLIS ACULEATA HYPOCALYMMA ANGUSTIFOLIUM JUNCUS PALLIDUS KUNZEA RECURVA LEPIDOSPERMA LONGITUDINALE MELALEUCA INCANA MELALEUCA LATERITIA REGELIA CILIATA NTING MIX – E Botanic Name ACACIA PULCHELLA ADENANTHOS CYGNORUM BANKSIA ATTENUATA DWARF	TUBE TUBE TUBE TUBE TUBE TUBE TUBE TUBE	70 40 70 40 70 40 70 40 70 70 700 700 700 700 700 700 700 700 700	0 mm 0 mm	67 813 133 813 51 813 67 204 133 204 133 Q † y. 186 93 93 93 93 93 93
ASS COA HYA JUP KUR LEL MEL MEL MEL MEL MEL MEL MEL MEL MEL	ASTARTEA SCOPARIA CONOSTYLIS ACULEATA HYPOCALYMMA ANGUSTIFOLIUM JUNCUS PALLIDUS KUNZEA RECURVA LEPIDOSPERMA LONGITUDINALE MELALEUCA INCANA MELALEUCA LATERITIA REGELIA CILIATA NTING MIX – E Botanic Name ACACIA PULCHELLA ADENANTHOS CYGNORUM BANKSIA ATTENUATA DWARF BANKSIA ILICIFOLIA	TUBE TUBE TUBE TUBE TUBE TUBE TUBE TUBE	70 40 70 40 70 40 70 40 70 70 700 700 700 700 700 700 700 700 700	0 mm 0 mm 0 mm 0 mm 0 mm 0 mm 0 mm 0 mm 0 acing 0 mm 0 mm 0 mm 0 mm 0 mm	67 813 133 813 51 813 67 204 133 Qty. 186 93 93 93
ASS COA HYA JUP KUR LEL MEI MEL REC PLA Key ACP ADC BAA BAI BAA BAI BAA BAI BAY DAL	ASTARTEA SCOPARIA CONOSTYLIS ACULEATA HYPOCALYMMA ANGUSTIFOLIUM JUNCUS PALLIDUS KUNZEA RECURVA LEPIDOSPERMA LONGITUDINALE MELALEUCA INCANA MELALEUCA LATERITIA REGELIA CILIATA NTING MIX – E Botanic Name ACACIA PULCHELLA ADENANTHOS CYGNORUM BANKSIA ATTENUATA DWARF BANKSIA MENZIESII BANKSIA DALLANYII DAMPIERA LINEARIS	TUBE TUBE TUBE TUBE TUBE TUBE TUBE TUBE	70 40 70 40 70 40 70 40 70 70 700 700 700 700 700 700 700 700 700 700 700 700 700 700 700 700	0 mm 0 mm	67 813 133 813 51 813 67 204 133 Qty. 186 93 93 93 93 93 186 186
ASS COA HYA JUP KUR LEL MEL MEL MEL ACP ADC BAA BAI BAA BAI BAA DAL MEL	ASTARTEA SCOPARIA CONOSTYLIS ACULEATA HYPOCALYMMA ANGUSTIFOLIUM JUNCUS PALLIDUS KUNZEA RECURVA LEPIDOSPERMA LONGITUDINALE MELALEUCA INCANA MELALEUCA INCANA MELALEUCA LATERITIA REGELIA CILIATA NTING MIX – E Botanic Name ACACIA PULCHELLA ADENANTHOS CYGNORUM BANKSIA ATTENUATA DWARF BANKSIA MENZIESII BANKSIA MENZIESII BANKSIA DALLANYII DAMPIERA LINEARIS MELALEUCA LATERITIA	TUBE TUBE TUBE TUBE TUBE TUBE TUBE TUBE	 70 40 70 40 70 40 70 40 70 700 	0 mm 0 mm	67 813 133 813 51 813 67 204 133 204 133 204 133 186 93 93 93 93 93 93 93 186 186 186
ASS COA HYA JUP KUR LEL MEL MEL MEL ACP ADC BAA BAI BAA BAI BAA BAI BAA BAI BAA MEL MEN	ASTARTEA SCOPARIA CONOSTYLIS ACULEATA HYPOCALYMMA ANGUSTIFOLIUM JUNCUS PALLIDUS KUNZEA RECURVA LEPIDOSPERMA LONGITUDINALE MELALEUCA INCANA MELALEUCA INCANA MELALEUCA LATERITIA REGELIA CILIATA ANTING MIX – E Botanic Name ACACIA PULCHELLA ADENANTHOS CYGNORUM BANKSIA ATTENUATA DWARF BANKSIA ILICIFOLIA BANKSIA MENZIESII BANKSIA DALLANYII DAMPIERA LINEARIS MELALEUCA LATERITIA	TUBE TUBE TUBE TUBE TUBE TUBE TUBE TUBE	70 40 70 40 70 40 70 40 70 70 700 700 700 700 700 700 700 700 700 700 700 700 700 700 700	0 mm 0 mm 0 mm 0 mm 0 mm 0 mm 0 mm 0 mm 0 acing 0 mm 0 mm	67 813 133 813 51 813 67 204 133 204 133 204 133 813 67 204 133 93 93 93 93 93 93 93 93 93 93 186 186 186 186
ASS COA HYA JUP KUR LEL MEI MEL REC PLA Key ACP ADC BAA BAI BAA BAI BAA BAI BAA BAI BAM BAY DAL MEN MES	ASTARTEA SCOPARIA CONOSTYLIS ACULEATA HYPOCALYMMA ANGUSTIFOLIUM JUNCUS PALLIDUS KUNZEA RECURVA LEPIDOSPERMA LONGITUDINALE MELALEUCA INCANA MELALEUCA LATERITIA REGELIA CILIATA NTING MIX – E Botanic Name ACACIA PULCHELLA ADENANTHOS CYGNORUM BANKSIA ATTENUATA DWARF BANKSIA MENZIESII BANKSIA DALLANYII DAMPIERA LINEARIS MELALEUCA LATERITIA MELALEUCA SERIATA	TUBE TUBE TUBE TUBE TUBE TUBE TUBE TUBE	70 40 70 40 70 40 70 40 70 40 700 700 700 700 700 700 700 700 700 700 700 700 700 700 700 700 700 700 700	0 mm 0 mm	67 813 133 813 51 813 67 204 133 Q † y. 186 93 93 93 93 93 186 186 186 186 186
ASS COA HYA JUP KUR LEL MEL MEL MEL ACP ADC BAA BAI BAA BAI BAA BAI BAA MEL MEN MES MET	ASTARTEA SCOPARIA CONOSTYLIS ACULEATA HYPOCALYMMA ANGUSTIFOLIUM JUNCUS PALLIDUS KUNZEA RECURVA LEPIDOSPERMA LONGITUDINALE MELALEUCA INCANA MELALEUCA LATERITIA REGELIA CILIATA NTING MIX – E Botanic Name ACACIA PULCHELLA ADENANTHOS CYGNORUM BANKSIA ATTENUATA DWARF BANKSIA ILICIFOLIA BANKSIA MENZIESII BANKSIA DALLANYII DAMPIERA LINEARIS MELALEUCA SERIATA MELALEUCA SERIATA	TUBE TUBE TUBE TUBE TUBE TUBE TUBE TUBE	 70 40 70 40 70 40 70 40 70 700 	0 mm 0 mm	67 813 133 813 51 813 67 204 133 Q†y. 186 93 93 93 93 93 186 186 186 186 186 186
ASS COA HYA JUP KUR LEL MEI MEL REC PLA Key ACP ADC BAA BAI BAA BAI BAA BAI BAA BAI BAA BAI BAA BAI BAA BAI BAA BAI BAA BAI BAA BAI BAA BAI BAA BAI BAA BAI BAA BAI BAA	ASTARTEA SCOPARIA CONOSTYLIS ACULEATA HYPOCALYMMA ANGUSTIFOLIUM JUNCUS PALLIDUS KUNZEA RECURVA LEPIDOSPERMA LONGITUDINALE MELALEUCA INCANA MELALEUCA INCANA MELALEUCA LATERITIA REGELIA CILIATA ANTING MIX – E Botanic Name ACACIA PULCHELLA ADENANTHOS CYGNORUM BANKSIA ATTENUATA DWARF BANKSIA ILICIFOLIA BANKSIA MENZIESII BANKSIA MENZIESII BANKSIA DALLANYII DAMPIERA LINEARIS MELALEUCA LATERITIA MELALEUCA SERIATA MELALEUCA THYMOIDES REGELIA CILIATA	TUBE TUBE TUBE TUBE TUBE TUBE TUBE TUBE	 70 40 70 40 70 40 70 40 70 700 	0 mm 0 mm	67 813 133 813 51 813 67 204 133 Q † y. 186 93 93 93 93 93 186 186 186 186 186
ASS COA HYA JUP KUR LEL MEI MEL REC PLA Key ACP ADC BAA BAI BAA BAI BAA BAI BAA BAI BAA MEL MEL MEL MEL MEL MES MET REC	ASTARTEA SCOPARIA CONOSTYLIS ACULEATA HYPOCALYMMA ANGUSTIFOLIUM JUNCUS PALLIDUS KUNZEA RECURVA LEPIDOSPERMA LONGITUDINALE MELALEUCA INCANA MELALEUCA LATERITIA REGELIA CILIATA NTING MIX – E Botanic Name ACACIA PULCHELLA ADENANTHOS CYGNORUM BANKSIA ATTENUATA DWARF BANKSIA ILICIFOLIA BANKSIA MENZIESII BANKSIA DALLANYII DAMPIERA LINEARIS MELALEUCA SERIATA MELALEUCA SERIATA	TUBE TUBE TUBE TUBE TUBE TUBE TUBE TUBE	 70 40 70 40 70 40 70 40 70 700 	0 mm 0 mm	67 813 133 813 51 813 67 204 133 Q†y. 186 93 93 93 93 93 186 186 186 186 186 186
ASS COA HYA JUP KUR LEL MEI MEI MEL ADC BAA BAI BAM BAA BAI BAM BAA BAI BAA	ASTARTEA SCOPARIA CONOSTYLIS ACULEATA HYPOCALYMMA ANGUSTIFOLIUM JUNCUS PALLIDUS KUNZEA RECURVA LEPIDOSPERMA LONGITUDINALE MELALEUCA INCANA MELALEUCA LATERITIA REGELIA CILIATA NTING MIX – E Botanic Name ACACIA PULCHELLA ADENANTHOS CYGNORUM BANKSIA ATTENUATA DWARF BANKSIA ILICIFOLIA BANKSIA MENZIESII BANKSIA DALLANYII DAMPIERA LINEARIS MELALEUCA LATERITIA MELALEUCA SERIATA MELALEUCA THYMOIDES REGELIA CILIATA	TUBE TUBE TUBE TUBE TUBE TUBE TUBE TUBE	70 40 70 40 70 40 70 40 70 70 700	0 mm 0 mm	67 813 133 813 51 813 67 204 133 Q † y. 186 93 93 93 93 93 93 186 186 186 186 186 186 186 186
ASS COA HYA JUP KUR LEL MEL MEL MEL ACP ADC BAA BAI BAA BAI BAA BAI BAA MES MET REC PLA Key	ASTARTEA SCOPARIA CONOSTYLIS ACULEATA HYPOCALYMMA ANGUSTIFOLIUM JUNCUS PALLIDUS KUNZEA RECURVA LEPIDOSPERMA LONGITUDINALE MELALEUCA INCANA MELALEUCA LATERITIA REGELIA CILIATA NTING MIX – E Botanic Name ACACIA PULCHELLA ADENANTHOS CYGNORUM BANKSIA ATTENUATA DWARF BANKSIA MENZIESII BANKSIA DALLANYII DAMPIERA LINEARIS MELALEUCA LATERITIA MELALEUCA SERIATA MELALEUCA SERIATA MELALEUCA THYMOIDES REGELIA CILIATA	TUBE TUBE TUBE TUBE TUBE TUBE TUBE TUBE	70 40 70 40 70 40 80 40 700 <	0 mm 0 mm	67 813 133 813 51 813 67 204 133 Q † y. 186 93 93 93 93 93 93 186 186 186 186 186 186 186 186
ASS COA HYA JUP KUR LEL MEI MEL MEL ACP ADC BAA BAI BAA BAI BAA BAI BAA MEL MEN MES MET REC PLA Key ALF	ASTARTEA SCOPARIA CONOSTYLIS ACULEATA HYPOCALYMMA ANGUSTIFOLIUM JUNCUS PALLIDUS KUNZEA RECURVA LEPIDOSPERMA LONGITUDINALE MELALEUCA INCANA MELALEUCA INCANA MELALEUCA LATERITIA REGELIA CILIATA NTING MIX – E Botanic Name ACACIA PULCHELLA ADENANTHOS CYGNORUM BANKSIA ATTENUATA DWARF BANKSIA ILICIFOLIA BANKSIA MENZIESII BANKSIA DALLANYII DAMPIERA LINEARIS MELALEUCA LATERITIA MELALEUCA SERIATA MELALEUCA SERIATA MELALEUCA THYMOIDES REGELIA CILIATA NTING MIX – F Botanic Name ALLOCASUARINA FRASERIANA	TUBE TUBE	70 40 70 40 70 40 70 40 70 70 700 <tr< td=""><td>0 mm 0 mm</td><td>67 813 133 813 51 813 67 204 133 Q † y. 186 93 93 93 93 93 93 186 186 186 186 186 186 186 186</td></tr<>	0 mm 0 mm	67 813 133 813 51 813 67 204 133 Q † y. 186 93 93 93 93 93 93 186 186 186 186 186 186 186 186
ASS COA HYA JUP KUR LEL MEI MEL MEL ACP ACP ACP ACP ACP ACP ACP ACP ACP ACP	ASTARTEA SCOPARIA CONOSTYLIS ACULEATA HYPOCALYMMA ANGUSTIFOLIUM JUNCUS PALLIDUS KUNZEA RECURVA LEPIDOSPERMA LONGITUDINALE MELALEUCA INCANA MELALEUCA LATERITIA REGELIA CILIATA NTING MIX – E Botanic Name ACACIA PULCHELLA ADENANTHOS CYGNORUM BANKSIA ATTENUATA DWARF BANKSIA ILICIFOLIA BANKSIA ILICIFOLIA BANKSIA DALLANYII DAMPIERA LINEARIS MELALEUCA LATERITIA MELALEUCA SERIATA MELALEUCA THYMOIDES REGELIA CILIATA NTING MIX – F Botanic Name ALLOCASUARINA FRASERIANA ALLOCASUARINA HUMILIS	TUBE TUBE	70 40 70 40 70 40 70 40 70 40 700	0 mm 0 mm	67 813 133 813 51 813 67 204 133 Q † y. 186 93 93 93 93 93 93 93 186 186 186 186 186 186 186 186
ASS COA HYA JUP KUR LEL MEL MEL MEL REC PLA Key ACP ADC BAA BAI BAA BAI BAA BAI BAA MES MET REC PLA Key ALF ALF ALF BOE	ASTARTEA SCOPARIA CONOSTYLIS ACULEATA HYPOCALYMMA ANGUSTIFOLIUM JUNCUS PALLIDUS KUNZEA RECURVA LEPIDOSPERMA LONGITUDINALE MELALEUCA INCANA MELALEUCA INCANA MELALEUCA LATERITIA REGELIA CILIATA NTING MIX – E Botanic Name ACACIA PULCHELLA ADENANTHOS CYGNORUM BANKSIA ATTENUATA DWARF BANKSIA ILICIFOLIA BANKSIA MENZIESII BANKSIA DALLANYII DAMPIERA LINEARIS MELALEUCA LATERITIA MELALEUCA SERIATA MELALEUCA SERIATA MELALEUCA THYMOIDES REGELIA CILIATA NTING MIX – F Botanic Name ALLOCASUARINA FRASERIANA	TUBE TUBE	70 40 70 40 70 40 70 40 700	0 mm 0 mm	67 813 133 813 51 813 67 204 133 Q † y. 186 93 93 93 93 93 93 186 186 186 186 186 186 186 186
ASS COA HYA JUP KUR LEL MEI MEL REC PLA Key ACP ADC BAA BAI BAA BAI BAA BAI BAA MEL MES MET REC PLA Key ALF ALF ALF ALF ALF	ASTARTEA SCOPARIA CONOSTYLIS ACULEATA HYPOCALYMMA ANGUSTIFOLIUM JUNCUS PALLIDUS KUNZEA RECURVA LEPIDOSPERMA LONGITUDINALE MELALEUCA INCANA MELALEUCA LATERITIA REGELIA CILIATA NTING MIX – E Botanic Name ACACIA PULCHELLA ADENANTHOS CYGNORUM BANKSIA ATTENUATA DWARF BANKSIA ILICIFOLIA BANKSIA MENZIESII BANKSIA DALLANYII DAMPIERA LINEARIS MELALEUCA LATERITIA MELALEUCA SERIATA MELALEUCA SERIATA MELALEUCA SERIATA MELALEUCA THYMOIDES REGELIA CILIATA NTING MIX – F Botanic Name ALLOCASUARINA FRASERIANA ALLOCASUARINA HUMILIS BOSSIAEA ERIOCARPA	TUBE TUBE	70 40 70 40 70 40 80 40 700	0 mm 0 mm	67 813 133 813 51 813 67 204 133 Q†y. 186 93 93 93 93 93 93 93 186 186 186 186 186 186 186 186
ASS COA HYA JUP KUR LEL MEI MEL REC PLA Key ACP ADC BAA BAI BAA BAI BAA MEL MEN MEL MEN MES MET REC PLA Key ALF ALF ALF ALF ALF ALF ALF	ASTARTEA SCOPARIA CONOSTYLIS ACULEATA HYPOCALYMMA ANGUSTIFOLIUM JUNCUS PALLIDUS KUNZEA RECURVA LEPIDOSPERMA LONGITUDINALE MELALEUCA INCANA MELALEUCA LATERITIA REGELIA CILIATA NTING MIX – E Botanic Name ACACIA PULCHELLA ADENANTHOS CYGNORUM BANKSIA ATTENUATA DWARF BANKSIA ILICIFOLIA BANKSIA MENZIESII BANKSIA DALLANYII DAMPIERA LINEARIS MELALEUCA LATERITIA MELALEUCA SERIATA MELALEUCA SERIATA MELALEUCA THYMOIDES REGELIA CILIATA NTING MIX – F Botanic Name ALLOCASUARINA FRASERIANA ALLOCASUARINA FRASERIANA ALLOCASUARINA HUMILIS BOSSIAEA ERIOCARPA CONOSTYLIS ACULEATA	TUBE TUBE	70 40 70 40 70 40 70 40 700	0 mm 0 mm	67 813 133 813 51 813 67 204 133 (133) (134) (1
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ASS COA HYA JUP KUR LEL MEI MEL MEL ALC BAA BAI BAM BAA BAI BAA BAI BAA BAI BAA MEL MEN MEL MEN MEL MEL MEN MEL MEL MEN MEL MEL MEL MEL MEL MEL MEL MEL MEL MEL	ASTARTEA SCOPARIA CONOSTYLIS ACULEATA HYPOCALYMMA ANGUSTIFOLIUM JUNCUS PALLIDUS KUNZEA RECURVA LEPIDOSPERMA LONGITUDINALE MELALEUCA INCANA MELALEUCA LATERITIA REGELIA CILIATA NTING MIX – E Botanic Name ACACIA PULCHELLA ADENANTHOS CYGNORUM BANKSIA ATTENUATA DWARF BANKSIA ILICIFOLIA BANKSIA MENZIESII BANKSIA MENZIESII BANKSIA DALLANYII DAMPIERA LINEARIS MELALEUCA LATERITIA MELALEUCA SERIATA MELALEUCA SERIATA MELALEUCA THYMOIDES REGELIA CILIATA NTING MIX – F Botanic Name ALLOCASUARINA FRASERIANA ALLOCASUARINA FRASERIANA ALLOCASUARINA HUMILIS BOSSIAEA ERIOCARPA CONOSTYLIS ACULEATA DAMPIERA LINEARIS HYPOCALYMMA ROBUSTUM JUNCUS PALLIDUS KUNZEA GLABRESCENS	TUBE TUBE	70 40 70 40 70 40 70 40 70 70 700	0 mm 0 mm	67 813 133 813 51 813 67 204 133 Q † y. 186 93 93 93 93 93 93 93 93 186 186 186 186 186 186 186 186
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ASS COA HYA JUP KUR LEL MEI MEI MEL MEL ADC BAA BAI BAM BAY DAL MEN MES MET REC PLA KUG KUG KUG KUG KUG KUG KUG KUG KUG KUG	ASTARTEA SCOPARIA CONOSTYLIS ACULEATA HYPOCALYMMA ANGUSTIFOLIUM JUNCUS PALLIDUS KUNZEA RECURVA LEPIDOSPERMA LONGITUDINALE MELALEUCA INCANA MELALEUCA LATERITIA REGELIA CILIATA NTING MIX – E Botanic Name ACACIA PULCHELLA ADENANTHOS CYGNORUM BANKSIA ATTENUATA DWARF BANKSIA ILICIFOLIA BANKSIA MENZIESII BANKSIA DALLANYII DAMPIERA LINEARIS MELALEUCA LATERITIA MELALEUCA SERIATA MELALEUCA SERIATA MELALEUCA THYMOIDES REGELIA CILIATA NTING MIX – F Botanic Name ALLOCASUARINA FRASERIANA ALLOCASUARINA FRASERIANA ALLOCASUARINA HUMILIS BOSSIAEA ERIOCARPA CONOSTYLIS ACULEATA DAMPIERA LINEARIS HYPOCALYMMA ROBUSTUM JUNCUS PALLIDUS KUNZEA GLABRESCENS KUNZEA RECURVA MELALEUCA SERIATA PATTERSONIA OCCIDENTALIS	TUBE TUBE	70 40 70 40 70 40 80 40 700 800 800 800	0 mm 0 mm	67 813 133 813 51 813 67 204 133 (133) (134) (1
ASS COA HYA JUP KUR LEL MEI MEI MEL MEL ACP ADC BAA BAI BAM BAY DAL BAA BAI BAM BAY DAL MEN MES MET REC PLA KUG KUG KUG KUG KUG KUG KUG KUG KUG KUG	ASTARTEA SCOPARIA CONOSTYLIS ACULEATA HYPOCALYMMA ANGUSTIFOLIUM JUNCUS PALLIDUS KUNZEA RECURVA LEPIDOSPERMA LONGITUDINALE MELALEUCA INCANA MELALEUCA LATERITIA REGELIA CILIATA NTING MIX – E Botanic Name ACACIA PULCHELLA ADENANTHOS CYGNORUM BANKSIA ATTENUATA DWARF BANKSIA ATTENUATA DWARF BANKSIA ILICIFOLIA BANKSIA MENZIESII BANKSIA DALLANYII DAMPIERA LINEARIS MELALEUCA LATERITIA MELALEUCA SERIATA MELALEUCA SERIATA MELALEUCA THYMOIDES REGELIA CILIATA NTING MIX – F Botanic Name ALLOCASUARINA FRASERIANA ALLOCASUARINA FRASERIANA ALLOCASUARINA HUMILIS BOSSIAEA ERIOCARPA CONOSTYLIS ACULEATA DAMPIERA LINEARIS HYPOCALYMMA ROBUSTUM JUNCUS PALLIDUS KUNZEA GLABRESCENS KUNZEA RECURVA MELALEUCA SERIATA MELALEUCA RHAPHIOPHYLLA MELALEUCA SERIATA MELALEUCA RHAPHIOPHYLLA MELALEUCA SERIATA	TUBE TUBE	70 40 70 40 70 40 70 40 700 40 700 800 800 800 800 800 800 800	0 mm 0 mm	67 813 133 813 51 813 67 204 133 Q † y. 186 93 93 93 93 93 93 93 93 93 186 186 186 186 186 186 186 186
ASS COA HYA JUP KUR LEL MEI MEI MEL MEL ADC BAA BAI BAM BAY DAL MEN MES MET REC PLA KUG KUG KUG KUG KUG KUG KUG KUG KUG KUG	ASTARTEA SCOPARIA CONOSTYLIS ACULEATA HYPOCALYMMA ANGUSTIFOLIUM JUNCUS PALLIDUS KUNZEA RECURVA LEPIDOSPERMA LONGITUDINALE MELALEUCA INCANA MELALEUCA LATERITIA REGELIA CILIATA NTING MIX – E Botanic Name ACACIA PULCHELLA ADENANTHOS CYGNORUM BANKSIA ATTENUATA DWARF BANKSIA ILICIFOLIA BANKSIA MENZIESII BANKSIA MENZIESII BANKSIA DALLANYII DAMPIERA LINEARIS MELALEUCA LATERITIA MELALEUCA SERIATA MELALEUCA SERIATA MELALEUCA THYMOIDES REGELIA CILIATA NTING MIX – F Botanic Name ALLOCASUARINA FRASERIANA ALLOCASUARINA FRASERIANA ALLOCASUARINA FRASERIANA ALLOCASUARINA HUMILIS BOSSIAEA ERIOCARPA CONOSTYLIS ACULEATA DAMPIERA LINEARIS HYPOCALYMMA ROBUSTUM JUNCUS PALLIDUS KUNZEA GLABRESCENS KUNZEA RECURVA MELALEUCA SERIATA PATTERSONIA OCCIDENTALIS NTING MIX – G	TUBE TUBE	70 40 70 40 70 40 70 40 700 40 700 800 800 800 800 800 800 800	0 mm 0 mm	67 813 133 813 51 813 67 204 133 (133) (134) (1



Appendix D Civil water reticulation plan



cinct 3E Southern River LWP\6231-04\Acad\6231-04-500.dwg, 23/02/2021 3:56:12 PM, AlistairH, Digital Signing PDF.pc3, 1:1, -

CONTRACTOR'S RESPONSIBILITY

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CO-ORDINATE THE INSTALLATION OF ALL SERVICES WITHIN THE SUBDIVISION. THE CONSULTANT SHOULD ENSURE THAT THERE IS NO CONFLICT BETWEEN THE POSITIONING OF FULLY PRE-LAID WATER SERVICES WITHIN THE LOT AND AND WESTERN POWER UNDERGROUND POWER CONNECTION PILLARS. THE SUPERINTENDENT SHOULD BE CONSULTED IF AMENDMENTS TO FULLY PRE-LAID SERVICES ARE REQUIRED.

SERVICES

- 1. ALL WATER MAINS SHALL BE INSTALLED ON 2.1m ALIGNMENT EXCEPT AS OTHERWISE AGREED.
- FULLY PRE-LAID WATER SERVICES TO BE INSTALLED IN ACCORDANCE WITH W.C. WATER RETICULATION DESIGN STANDARD DS 63 VERSION 3 REVISION 14, SEPTEMBER 2018 AND READ IN CONJUNCTION WITH W.C. STANDARD ARRANGEMENT DRG.No.'S BD 62-8-15 AND BD62-8-24
- 3. WATER SERVICE LOCATIONS SHALL BE IN ACCORDANCE WITH THE GUIDELINES FOR POSITIONING CONTAINED IN DRG.No. BD62-8-14.
- 4. WHERE POSSIBLE LOTS ARE ARRANGED IN PAIRS WITH A DUAL SERVICE PIPE ENTERING THE RIGHT HAND SIDE OF THE PAIR OF LOTS AND SPLITTING LEFT AND RIGHT TO SUPPLY EACH PAIR OF METERS.
- 5. WHERE SHORT AND LONG SINGLE SERVICES ARE INDICATED THE SERVICE PIPE AND METER SHOULD, IF POSSIBLE, BE LOCATED AT THE LEFT HAND SIDE BOUNDARY OF LOTS.
- 6. FOR A STRAIGHT ROAD RESERVE, SERVICE PIPES SHALL BE ALIGNED AT RIGHT ANGLES TO FRONT BOUNDARIES, RATHER THAN TO THE SUPPLY WATER MAINS.
- 7. WHERE THERE IS A BEND IN THE ROAD RESERVE AT THE SIDE BOUNDARY, THE SERVICE PIPE SHALL BE POSITIONED PARALLEL TO THE LINE BISECTING THE ANGLE.
- 8. FL AND FR (FULLY PRELAID LEFT & RIGHT) INDICATES THE SIDE OF THE LOT WHEN VIEWED FROM THE ROAD FRONTAGE WHICH IS SELECTED FOR ITS METER LOCATION.
- 9. FULLY PRE-LAID WATER SERVICES INSTALLED IN STAIR LANDINGS ARE TO BE INSTALLED IN ACCORDANCE WITH STANDARD WATER CORPORATION DRG.No. BD62-2-9.

LEGEND	
DESCRIPTION	SYMBOL
RETICULATION AREA BOUNDARY	
PROPOSED MAINS	
PROPOSED VALVE (No. = 4)	
PROPOSED HYDRANT (No. = 1)	
PROPOSED PRELAID LONG SERVICE	
CHANGE IN PIPE SIZE	
TEMPORARY BLANK END AND FLUSHING POINT (No. = 3)	тве —————————————————————
CONNECTION BY WATER CORPORATION (No. = 2)	
EXISTING MAIN, HYDRANT AND VALVE	-
FUTURE MAIN, HYDRANT AND VALVE	-·-·×·-·-
PROPOSED RETAINING WALL	
EXISTING RETAINING WALL	
FUTURE RETAINING WALL	part + passart + passart + passart + passart + passart + pas
SERVICE LAID IN THIS STAGE FOR RELEASE IN FUTURE STAGE	*
SERVICE LAID IN PREVIOUS STAGE TO BE RELEASED IN THIS STAGE	*

· · · · · · · · · · · · · · · · · · ·	
SERVICES	QTY (No.)
PRELAID SHORT DUAL	13
PRELAID LONG DUAL	4
PRELAID SHORT SINGLE	1
PRELAID LONG SINGLE	2
TOTAL	20
TOTAL NUMBER OF LOTS SERVED	37
NUMBER OF DEFERRED SERVICES	0
EXTENSION	QTY (m)
63mm MDPE	0.0
100 P-12	208.7
150 P-12	156.0
200 P-12	0.0
250 P-12	0.0

MSWA RETICULATION SUBMISSION

This plan is accepted as being in accordance with the endorsed Concept Plan: MW07-100-001-01A

Compliance with relevant design standards and manuals remains the responsibility of the Design Engineer.

No works are to commence on site until start-up meeting requirements have been made with the relevant Asset Inspector. Refer to the Developers' Manual for contact details.

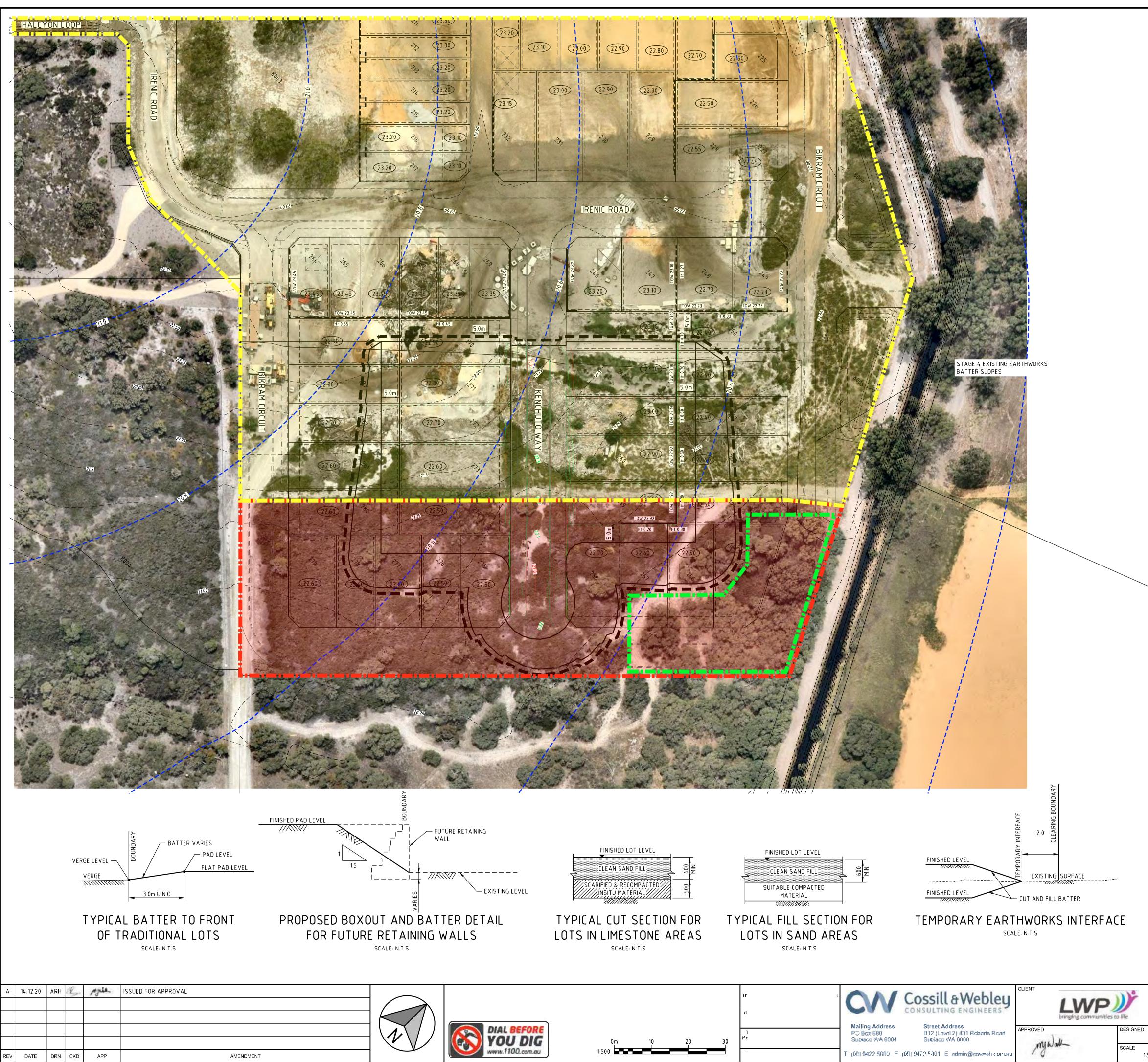
NP35-103-001-01A

FILE: 112427450

4	PROJECT AMBIA - STAGE 4				
	WATER RETICULATION PLAN				
ned TS	SHEET 1 OF 1				
: 1:500 1:1000	WAPC No. 156198 & 158850	DRAWING NO. 6231-04-500	REVISION ()	ORIGIN, SIZE	



Appendix E Civil roadworks plan



LEGEND	
DESCRIPTION	SYMBOL
LIMIT OF WORKS BOUNDARY	
FINISHED SURFACE CONTOUR MAJOR	25.5
FINISHED SURFACE CONTOUR MINOR	25.1
EXISTING SURFACE CONTOUR (0.25m)	- — — - 25.25 - — — -
AAMGL CONTOUR (0.2m CONTOUR INTERVAL)	
FINISHED LOT PAD LEVEL	25.00
PROPOSED RETAINING WALL	
EXISTING RETAINING WALL	
FUTURE RETAINING WALL	
EXTENTS OF FLAT LOT PAD	
RETAINING WALL HEIGHT (ABOVE TOP OF FOUNDATION BLOCKS)	Ht 1110
TOP OF WALL LEVEL	TOW 25.00
AREA CLEARED PREVIOUS STAGES	
STAGE 5A CLEARING BOUNDARY/AREA	
STAGE 5A TOPSOIL STOCKPILE AREA	

NOTES

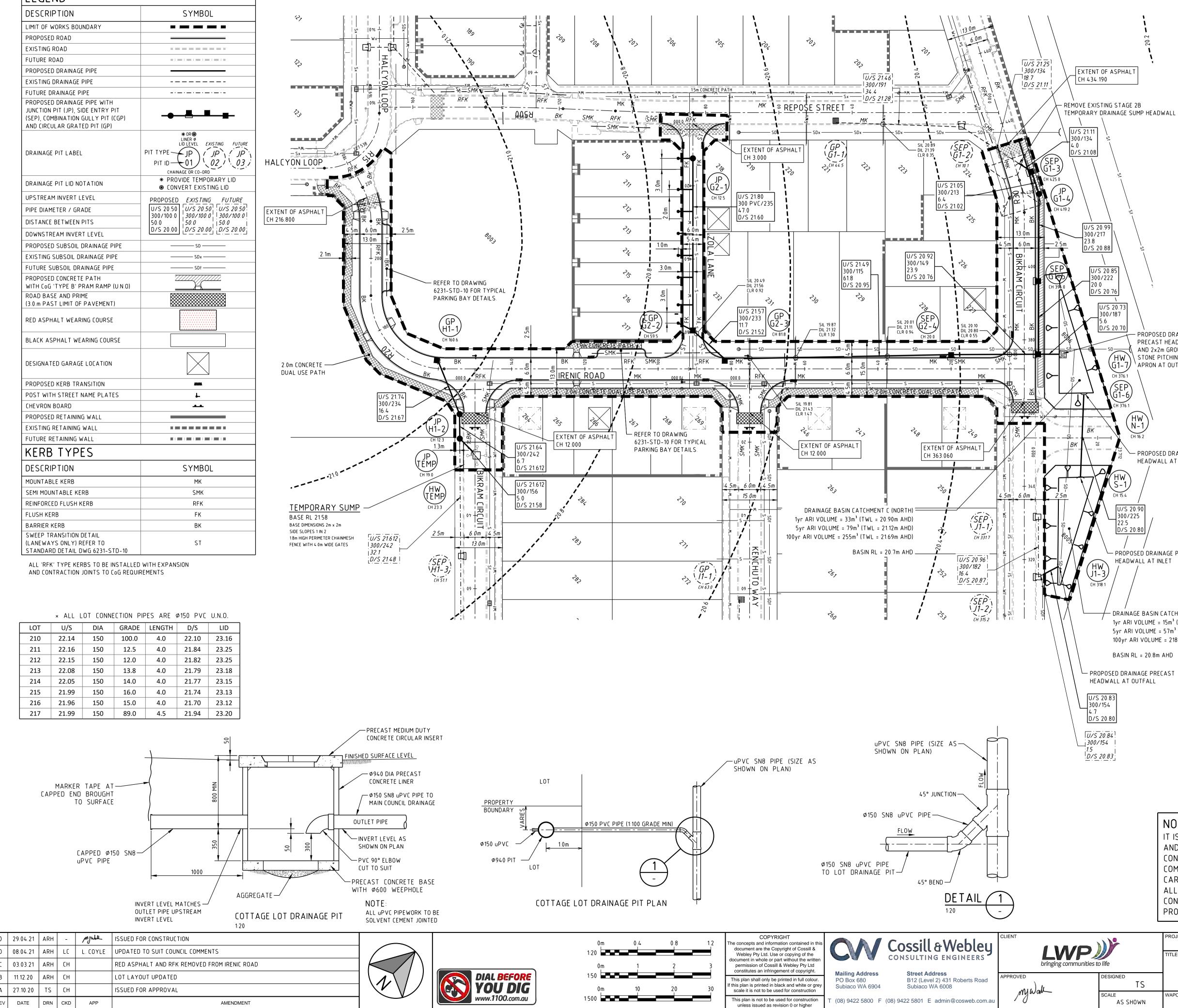
- 1. ALL LEVELS IN METRES TO AHD. SURVEY BY MNG.
- 2. BATTERS TO EXISTING SURFACE AT 1:3 (CUT) 1:4 (FILL) UNLESS NOTED OTHERWISE.
- BATTER POSITION FOR FUTURE WALLS TO ENSURE CUT TO FILL EARTHWORKS BALANCE.
- 4. ALL UNSUITABLE MATERIAL TO BE REMOVED BY THE CONTRACTOR TO APPROVED TIPPING SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALL FEES TO BE PAID BY CONTRACTOR.
- EXTENT OF CLEARING AND EARTHWORKS TO BE LIMITED TO THE STAGE CLEARING BOUNDARY UNLESS AGREED WITH THE SUPERINTENDENT.
- 6. ALL CLEARED MATERIAL TO BE MULCHED AND STOCKPILED ON SITE AS DIRECTED BY THE SUPERINTENDENT.
- 7. CONTRACTOR TO LOCATE ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF WORKS ON SITE.
- 8. CONTRACTOR TO GRADE EVENLY BETWEEN DESIGN CONTOURS AND MATCH INTO EXISTING SURFACE AT LIMIT OF EARTHWORKS BOUNDARY WHERE APPROPRIATE.
- 9. EXCESS CUT FROM EARTHWORKS SHALL BE PLACED ON SITE AS DIRECTED BY THE SUPERINTENDENT.
- 10. WHERE LIMESTONE IS WITHIN 600mm OF THE FINAL SURFACE LEVEL THE CONTRACTOR SHALL TREAT THE SITE IN ACCORDANCE WITH THE SPECIFICATION.
- 11. DESIGN LEVELS SHOWN SHALL BE ON THE FINISHED SURFACE INCLUDING TOPSOIL WHERE SPECIFIED.
- 12. THE CONTRACTOR SHALL LIMIT THE MOVEMENT OF EQUIPMENT AND MANPOWER TO THE MINIMUM AREA NECESSARY AND PROTECT ALL VEGETATION AND EXISTING SERVICES ON SITE.
- ADJACENT RESIDENTS TO BE NOTIFIED OF THE WORKS AT LEAST TWO WEEKS IN ADVANCE. CONTRACTOR TO PROVIDE MOBILE NUMBER FOR SUPERVISOR AS PART OF NOTIFICATION.

	WARNING TO CONTRACTOR UXO THE SITE IS IDENTIFIED AS HAVING RISK OF UNEXPLODED ORDNANCE. "NO EXCAVATION OR OTHER DISTURBANCE OF THE SOIL ON THIS SITE				
	SHOULD BE CARRIED OUT WITHOUT FIRST OBTAINING CLEARANCE FROM THE UNEXPLODED ORDNANCE BRANCH OF THE W.A. POLICE DEPARTMENT."				
	NOTICE TO CONTRACTOR IT IS THE CONTRACTORS RESPONSIBILITY TO INVESTIGATE THE NATURE AND LOCATION OF ALL SERVICES WHICH MAY BE ENCOUNTERED AND TO CONSULT WITH THE RELEVANT SERVICE AUTHORITIES PRIOR TO COMMENCEMENT OF EXCAVATIONS. FAILURE TO DO SO OR TO TAKE DUE CARE SHALL NOT LIMIT THE CONTRACTORS LIABILITY FOR REPAIR OF ALL SERVICES DAMAGED BY HIM DURING CONSTRUCTION WORKS THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY FOR THE PROTECTION OF ALL EXISTING SERVICES.				
	PROJECT AMBIA - STAGE 05A	A1			
ARH	SHEET 1 OF 1	ORIGINAL SIZE			
1:500	WAPC No. DRAWING No. 6231-05A-100 REVISION 156198 & 158850 A A A	0			

DESCRIPTION	SYMBOL
LIMIT OF WORKS BOUNDARY	
PROPOSED ROAD	
EXISTING ROAD	
FUTURE ROAD	
PROPOSED DRAINAGE PIPE	
EXISTING DRAINAGE PIPE	
FUTURE DRAINAGE PIPE	
PROPOSED DRAINAGE PIPE WITH JUNCTION PIT (JP), SIDE ENTRY PIT (SEP), COMBINATION GULLY PIT (CGP) AND CIRCULAR GRATED PIT (GP)	- -
DRAINAGE PIT LABEL	* OR LINER Ø LID LEVEL EXISTING FUTURE PIT TYPE JP PIT ID 01 02 03
DRAINAGE PIT LID NOTATION	 ✤ PROVIDE TEMPORARY LID ❀ CONVERT EXISTING LID
UPSTREAM INVERT LEVEL	PROPOSED EXISTING FUTURE
PIPE DIAMETER / GRADE	U/S 20.50 U/S 20.50 U/S 20.50
DISTANCE BETWEEN PITS	
DOWNSTREAM INVERT LEVEL	D/S 20.00 D/S 20.00 D/S 20.00
PROPOSED SUBSOIL DRAINAGE PIPE	SD
EXISTING SUBSOIL DRAINAGE PIPE	SDx
FUTURE SUBSOIL DRAINAGE PIPE	SDf
PROPOSED CONCRETE PATH WITH Cog 'TYPE B' PRAM RAMP (U.N.O)	
ROAD BASE AND PRIME (3.0.m PAST LIMIT OF PAVEMENT)	
RED ASPHALT WEARING COURSE	
BLACK ASPHALT WEARING COURSE	
DESIGNATED GARAGE LOCATION	
PROPOSED KERB TRANSITION	*** *
POST WITH STREET NAME PLATES	-
CHEVRON BOARD	<u> </u>
PROPOSED RETAINING WALL	
EXISTING RETAINING WALL	*======*
FUTURE RETAINING WALL	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
KERB TYPES	
DESCRIPTION	SYMBOL
MOUNTABLE KERB	МК
SEMI MOUNTABLE KERB	SMK
REINFORCED FLUSH KERB	RFK
FLUSH KERB	FK
BARRIER KERB	ВК
SWEEP TRANSITION DETAIL (LANEWAYS ONLY) REFER TO STANDARD DETAIL DWG 6231-STD-10	ST

る RFK 109L <u>+</u>01 $\langle \cdot \rangle_{\mathcal{Y}}$ ____×M____ 6 0 m 2.5m 8003 13 0m 2.1m REFER TO DRAWING 6231-STD-10 FOR TYPICAL PARKING BAY DETAILS. GP (H1-1) CH 160 6 2.0m CONCRETE DUAL USE PATH U/S 21.74 300/234 16.4 D/S 21.67 \H1-2/ H 12 1.3m JP / JÉMP (HW) (TEMP) TEMPORARY SUMP CH 23.3)7 + ~ || BASE RL 21.58 BASE DIMENSIONS 2m x 2m SIDE SLOPES 1 IN 2 6.0m |4.5m 2.5т U/S 21.612 1.8m HIGH PERIMETER CHAINMESH 13.0m FENCE WITH 4.0m WIDE GATES 300/242 32.1 ЦĴ ŚЕР Н1-3) сн 51.1 D/S 21.48

		× ALL L	OT CONNE	CTION PIF	PES ARE	Ø150 PVC	U.N.O.
LOT	Г	U/S	DIA	GRADE	LENGTH	D/S	LID
210)	22.14	150	100.0	4.0	22.10	23.16
211	L	22.16	150	12.5	4.0	21.84	23.25
212	2	22.15	150	12.0	4.0	21.82	23.25
213	3	22.08	150	13.8	4.0	21.79	23.18
214	ł	22.05	150	14.0	4.0	21.77	23.15
215	5	21.99	150	16.0	4.0	21.74	23.13
216	5	21.96	150	15.0	4.0	21.70	23.12
217	7	21.99	150	89.0	4.5	21.94	23.20



- PROPOSED DRAINAGE PRECAST HEADWALL AND 2×2m GROUTED STONE PITCHING

APRON AT OUTFALL

– PROPOSED DRAINAGE PRECAST

HEADWALL AT OUTFALL

- PROPOSED DRAINAGE PRECAST

- STANDARD NOTES 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SPECIFICATION AND REQUIREMENTS OF THE LOCAL AUTHORITY.
 - 2. THE CONTRACTOR SHALL LIAISE WITH ALL PUBLIC UTILITIES PRIOR TO COMMENCING WORK TO LOCATE ALL SERVICES WITHIN THE CONTRACT SITE.
 - 3. ALL LEVELS SHALL BE LOCATED FROM ESTABLISHED BENCHMARKS AS ESTABLISHED BY THE PROJECT SURVEYOR.
 - 4. ALL CONNECTIONS TO EXISTING WORK SHALL BE SMOOTH AND OF NEAT APPEARANCE.
 - 5. REFER INTERSECTION DETAIL DRAWINGS FOR CORNER RADII AT INTERSECTIONS AND CUL-DE-SACS.
 - 6. ALL KERBING TO BE MOUNTABLE TYPE UNLESS NOTED OTHERWISE.
 - 7. TRANSITION BETWEEN DIFFERENT KERB TYPES SHALL BE MADE OVER A LENGTH OF 2m.
 - 8. WHERE POSSIBLE, STREET SIGNS TO BE STRAPPED TO STREET LIGHT POLES.
 - 9. ALL CUTS THROUGH LIMESTONE SHALL BE EXCAVATED TO A DEPTH OF 100mm BELOW SUB-GRADE LEVEL AND 200mm BELOW THE FINISHED LEVEL OF VERGES.
 - 10. STORMWATER PIPES SHALL BE REINFORCED CONCRETE (CLASS 4) R.R.J. UNLESS NOTED OTHERWISE.
 - 11. DRAINAGE PIPES TO BE INSTALLED IN ACCORDANCE WITH AS3725. CONTRACTOR TO CONSIDER GROUND CONDITIONS, HAUNCHING, TRENCH CONDITIONS, LOAD PARAMETERS AND COMPACTION METHODS TO ENSURE INTEGRITY OF PIPE.
 - 12. MANHOLES AND SIDE ENTRY PITS SHALL BE LOCATED IN POSITIONS SHOWN IRRESPECTIVE OF THE INDICATED PIPE LENGTHS AND WHERE APPLICABLE THE PITS SHALL BE LOCATED AT THE ACTUAL LOW POINT
 - 13. MINIMUM COVER TO DRAINAGE PIPES TO BE 600mm UNLESS NOTED OTHERWISE. CLEARANCE WITH ALL OTHER SERVICES TO BE 150mm. CONTRACTOR TO ADVISE OF ANY DISCREPANCIES.
 - 14. WHERE A SEWER LINE INTERSECTS WITH A STORMWATER DRAINAGE LINE AND THE SEWER PASSES OVER THE DRAIN THEN THE SEWER SHALL HAVE A TIMBER PILE AND KEEL PROVIDED FOR THE FULL EXTENT NECESSARY TO SUPPORT THE SEWER DURING EXCAVATION FOR THE DRAIN.
 - 15. THE ROADWORKS AND DRAINAGE DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE SEWERAGE RETICULATION PLAN(S) AND THE STANDARD DRAWING(S).
 - 16. STORMWATER ACCESS CHAMBER LIDS IN VERGES ARE TO BE SET TO MATCH VERGE CROSSFALLS AND LEVELS.

STAGE NOTES

- 1. LOCAL AUTHORITY CITY OF GOSNELLS
- 2. PROJECT SURVEYOR MNG
- 3. LANDSCAPE ARCHITECT PLAN E
- 4. REFERENCE DRAWINGS: SEWERAGE RETICULATION PLAN

WATER RETICULATION PLAN

INTERSECTION DETAILS

SUBSOIL DRAINAGE PLAN

- 6231-04-400 6231-04-500 6231-04-620 6231-04-750
- 5. DRAINAGE PIPES TO BE LAID ON 3.5m ALIGNMENT IN ROAD RESERVES UNLESS NOTED OTHERWISE.

– DRAINAGE BASIN CATCHMENT C (NORTH) 1yr ARI VOLUME = 15m³ (TWL = 20.90m AHD) 5yr ARI VOLUME = 57m³ (TWL = 21.12m AHD) 100yr ARI VOLUME = 218m³ (TWL = 21.69m AHD)

BASIN RL = 20.8m AHD

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	NOTICE TO CONTRACTOR				
	IT IS THE CONTRACTORS RESPONSIBILITY TO INVESTIGATE THE NATURE AND LOCATION OF ALL SERVICES WHICH MAY BE ENCOUNTERED AND TO CONSULT WITH THE RELEVANT SERVICE AUTHORITIES PRIOR TO COMMENCEMENT OF EXCAVATIONS. FAILURE TO DO SO OR TO TAKE DUE CARE SHALL NOT LIMIT THE CONTRACTORS LIABILITY FOR REPAIR OF ALL SERVICES DAMAGED BY HIM DURING CONSTRUCTION WORKS THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY FOR THE PROTECTION OF ALL EXISTING SERVICES.				
	AMBIA - STAGE 4			—	
	ROADWORKS AND STORMWATER DRAINAGE				
D TS	SHEET 1 OF 1				
S SHOWN	WAPC No. 156198 & 158850	DRAWING NO. 6231-04-610	REVISION 0	ō	



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Final Report	Rev 0	Issued for use: to facilitate subdivision clearance and building permit approvals	Kaitlin Southgate	Zac Cockerill (BPAD 37803, Level 2)	5 July 2021

