

LWP Property Group
Bushfire Management Plan (BMP) Compliance and
Condition Clearance Report

Ambia Estate – Stages 4 and 5A
Southern River Road, Southern River

5 July 2021

61179/138,681 (Rev 0)

JBS&G Australia Pty Ltd T/A Strategen-JBS&G

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1. Introduction

1.1 Site/development summary

Table 1 provides a summary of the site and proposed development. The development layout and subject lots are shown in Figure 1 and Figure 2.

Table 1: Site/development summary

Site details	
Address details	36 proposed residential lots within Stages 4 and 5A Ambia Estate, Southern River Road, Southern River
Local government area	City of Gosnells
Description of building works	Construction of a single residential dwelling (Class 1a building and associated Class 10a structures) within each residential lot

1.2 Purpose of report

This Bushfire Management Plan (BMP) compliance and condition clearance report has been prepared for 36 proposed residential lots within Stages 4 and 5A Ambia Estate, located on Southern River Road, Southern River (hereafter referred to as the project area). Lots within Stages 4 and 5A are subject to WAPC subdivision approval (WAPC reference 156198).

The purpose of this report is to address the following bushfire related condition for the project area, applicable to WAPC reference 156198:

Condition 26: Information is to be provided to demonstrate that the measures contained in Section 5 Implementation and Enforcement, Table 4: Proposed Works Program of the Bushfire Management Plan (Strategen-JBS&G, Rev 1, March 2018) as amended have been implemented during subdivisional works. (Local Government)

To address the abovementioned condition, Strategen-JBS&G has undertaken a compliance assessment and audit against the management actions from the nominated BMP (Strategen ref: LWP16375.01 R001 Rev 1 dated 8 March 2018), including assessment against the bushfire protection criteria outlined in *Guidelines for Planning in Bushfire Prone Areas* (the Guidelines; WAPC 2017). An assessment of compliance with the measures outlined in the BMP, consistent with the requirements of the Guidelines, is provided in Table 2.

This report also provides a post-subdivisional works update of the Bushfire Attack Level (BAL) ratings for individual lots within the project area and has been prepared for the benefit of the developer, decision makers and future lot purchasers. The BAL assessment outlined in this report is the most up to date assessment from Strategen-JBS&G relating to the project area and has been prepared in consideration of the previous BAL contour assessment documented in the BMP (Strategen ref: LWP16375.01 R001 Rev 1 dated 8 March 2018). The approach for preparation of this report is consistent with Section 4.2 and Appendix 3 of the Guidelines.

The project area is designated as bushfire prone on the *Map of Bush Fire Prone Areas* (DFES 2019; see Plate 1). BAL certificates have been prepared for individual lots situated in a bushfire prone area (i.e. all proposed lots) and are contained in Appendix A for use as part of lot sale and to accompany future building permit applications.



Plate 1 Map of Bush Fire Prone Areas (DFES 2019)

2. Implementation of relevant bushfire management measures

The endorsed BMP includes several bushfire management strategies that are inherent to the ability for the development to achieve bushfire compliance and the associated residential lots to achieve the BAL ratings intended under the previously prepared BAL contour map.

Strategen-JBS&G can confirm that the relevant bushfire management actions detailed in the endorsed BMP have been implemented as intended throughout the duration of subdivisional works. Table 2 summarises the status of each implementation action and provides the necessary evidence of compliance.

Table 2: BMP Management Measures

Action	Timing of action	Evidence of completion/clearance comments
Creation of APZs	Following subdivision approval and prior to construction of buildings	<p>Refer to updated Bushfire Attack Level (BAL) contour assessment in Section 3, the updated BAL contour map (Figure 2) and recent site photos (Appendix B) for current site conditions.</p> <p>Sufficient cleared and low threat land surrounds the proposed Stages 4 and 5A lots to ensure that a rating of BAL-29 or lower has been achieved for all proposed lots without the need for any further APZ controls. The public road (Bikram Circuit), cleared future development stages and low threat POS cell to the west provide non-vegetated/managed interfaces adjacent with Plot 3 (Class C shrubland) and Plot 2 (Class D scrub), providing sufficient separation to achieve a rating of BAL-29 or lower.</p> <p>Proposed development within Stages 4 and 5A achieves compliance with Acceptable Solutions A1.1 and A2.1 of the Guidelines, which require all habitable development to be located in areas of BAL-29 or lower through the provision of sufficient low threat separation.</p>
Maintenance of APZs	As required to achieve 2 t/ha threshold all year round	<p>Bikram Circuit, the cleared future development stages and low threat POS cell to the west have been established as non-vegetated and/or low threat areas at the interfaces with Plot 3 (Class C shrubland) and Plot 2 (Class D scrub) and proposed lots, providing sufficient separation to achieve a rating of BAL-29 or lower without the need for any further APZ controls. These areas will continue to be maintained as low threat following construction of roads, lots and POS. POS proposed to contain retained or reintroduced vegetation has been classified accordingly, as per Figure 1. The vegetation classifications and exclusions applied throughout POS areas is in accordance with the Landscape Plans provided in Appendix C.</p>
Creation and maintenance of POS (including low fuel areas) where required	Following subdivision approval and prior to construction of buildings	<p>As above, landscaping plans (Appendix C) have been reviewed and deemed to comply with the vegetation classifications/exclusions applied in Figure 1.</p>
Construct buildings in accordance with AS 3959 and the assessed BAL	At building construction	<p>N/A This will be undertaken in accordance with the assessed BAL rating at the building permit stage.</p>
Construct public roads and cul-de-sacs in accordance with Guideline technical requirements	During subdivisional works (with construction works bonded for public roads and temporary cul-de-sacs)	<p>Refer to civil roadworks layout plans in Appendix E. Vehicular access to the Stages 4 and 5A residential lots is compliant with both the BMP and the acceptable solutions of the Guidelines. Halcyon Loop and Bikram Circuit provide primary public road access to the proposed Stages 4 and 5A lots from Southern River Road to the north. A temporary Emergency Access Way (EAW) from Halcyon Loop provides temporary secondary access that extends to the existing haul road and permits travel to Matison Road in the south. The EAW is typically greater than 6 m wide and is compliant with Acceptable Solution A3.6 and available for use in an emergency. This EAW was endorsed as part of Stages 1 and 2 subdivision clearances. The temporary EAW has been maintained to ensure it is trafficable by 2WD vehicles throughout the year, in particular during the bushfire season.</p> <p>The two vehicular access connections provided deliver compliance with Acceptable Solution A3.1 and the various access ways comply with A3.2 and A3.6. A temporary cul-de-sac is required at the southern terminus of Kenchuto Way and is compliant with Acceptable Solution A3.3.</p>

Action	Timing of action	Evidence of completion/clearance comments
Construct and maintain firebreaks around all lots exceeding 5000 m ²	All year round as specified in the current firebreak notice	Compliant for development site at the time of inspection. This will require ongoing compliance as per BMP and firebreak notice provisions.
Provide a reticulated water supply and network of hydrants in accordance with subdivision approval and water authority, DFES and City technical requirements	During subdivisional works (with construction works bonded for public roads and temporary cul-de-sacs)	Reticulated water supply will be extended to Stages 4 and 5A via connections at Bikram circuit and Zola Lane as per the civil water reticulation plan provided in Appendix D. One new street hydrant will be installed within the Stage 4 and 5A development boundary to achieve compliance with Acceptable Solution A4.1.
Notification on Title	Following subdivision approval	N/A To be completed by others upon successful clearance of subdivision conditions at creation of titles.
BMP and BAL assessment at future planning stages	A revised BMP, including detailed BAL contour assessment based on lot or development layout, will be required for proposed development at an appropriate future planning stage (such as subdivision or development application) to ensure the management measures and separation distances are consistent with final development design	This report includes an updated BAL contour assessment, which demonstrates that all proposed lots can achieve BAL-29 or lower. This report demonstrates compliance with the BMP and the acceptable solutions of the Guidelines.
Compliance with current fire control order	All year round as specified in the current fire control order	Compliant for the Stage 4 and 5A development site at the time of inspection. This will require ongoing compliance as per BMP and firebreak notice provisions.

3. Bushfire assessment results

3.1 Assessment inputs

3.1.1 Vegetation classification

Strategen-JBS&G assessed classified vegetation and exclusions within the 150 m assessment area through on-ground verification on 23 June 2021 in accordance with AS 3959—2018 *Construction of Buildings in Bushfire-Prone Areas* (AS 3959; SA 2018) and the *Visual Guide for Bushfire Risk Assessment in Western Australia* (DoP 2016). Georeferenced site photos and a description of the vegetation classifications and exclusions are contained in Appendix B and depicted in Figure 1, with results summarised in Table 3.

Areas of retained vegetation in conservation POS that were previously classified as Class B woodland in the BMP have been revised to a Class D scrub classification, which is a more accurate representation of the fuel profile and potential fire behaviour in accordance with AS3959–2018 (i.e. vegetation with a continuous horizontal fuel profile between 2–6 m in height). All other vegetation classifications were deemed consistent with the approved BMP, including areas subject to drainage landscaping (refer to landscaping plans contained in Appendix C).

3.1.2 Effective slope

Strategen-JBS&G assessed effective slope under classified vegetation within the 150 m assessment area through on-ground verification on 23 June 2021 in accordance with AS 3959. Results were cross-referenced with DPIRD 2 m contour data (see Figure 1). All classified vegetation was assessed as being situated on land that is flat or upslope of the proposed lots, which is consistent with the approved BMP over the site, as summarised in Table 3.

3.1.3 Summary of inputs

Figure 1 illustrates the current post-development vegetation classifications and exclusions observed during the inspection. The vegetation classifications/exclusions and effective slope are summarised in Table 3.

Table 3: Summary of vegetation classifications, exclusions and effective slope

Vegetation plot	Vegetation classification	Effective slope	Comments
1	Class B Woodland	Flat/upslope (0°)	Scattered Eucalyptus dominated woodland with grassland surface fuels
2	Class D Scrub	Flat/upslope (0°)	Scrub vegetation with a continuous horizontal fuel profile between 2–6 m in height
3	Class C Shrubland	Flat/upslope (0°)	Complete and proposed drainage basins as per landscape plans
4	Class G Grassland	Flat/upslope (0°)	Unmanaged grassland on adjacent landholdings
5	Excluded – Low threat (Clause 2.2.3.2 [c])	N/A	Drainage/verge planting along Southern River Road that is less than 0.25 ha and greater than 20 m from any other classified vegetation
6	Excluded – Non-vegetated & Low threat (Clauses 2.2.3.2 [e] and [f])	N/A	Non-vegetated and low threat managed vegetation



Legend 	Vegetation classification Class B Woodland Class C Shrubland Class D Scrub Class G Grassland Clause 2.2.3.2 (c) Clause 2.2.3.2 (e) & (f) Topographic contours (mAHD) Roads (MRWA)	Scale 1:2,600 at A4 	Stages 4 and 5A Ambia Estate, Southern River, WA
		Coord. Sys. GDA 1994 MGA Zone 50 Job No: 61179 Client: LWP Property Group Version: A Drawn By: jcrute	 VEGETATION CLASSIFICATION AND EFFECTIVE SLOPE FIGURE 1
		Date: 01-Jul-2021 Checked By: CT	

3.2 Assessment outputs

3.2.1 Bushfire Attack Level (BAL) contour assessment

Strategen-JBS&G has undertaken a BAL contour assessment in accordance with Method 1 of AS 3959 for the project area (Figure 2). The Method 1 procedure incorporates the following factors:

- state-adopted FDI 80 rating
- vegetation classification
- effective slope
- distance maintained between proposed development areas and the classified vegetation.

The BAL contours are based on the current on-ground site conditions and take into consideration the bushfire management measures that have been implemented on site as listed in Table 2.

Results of the BAL contour assessment are detailed in Table 4 and illustrated in Figure 2. Where applicable, Table 4 recommends potential building setbacks for future buildings to achieve a lower BAL.

Table 4: BAL contour assessment results

Lot	Designated bushfire prone area	Plot	Vegetation classification	Effective slope	Separation (m)	Highest BAL	Setback required to achieve lower BAL	Reduced BAL rating* with setback
210	Yes	2	Class D scrub	Flat/upslope (0°)	63m	BAL-12.5	N/A	N/A
211	Yes	2	Class D scrub	Flat/upslope (0°)	63m	BAL-12.5	N/A	N/A
212	Yes	3	Class C shrubland	Flat/upslope (0°)	61m	BAL-12.5	N/A	N/A
213	Yes	3	Class C shrubland	Flat/upslope (0°)	56m	BAL-12.5	N/A	N/A
214	Yes	3	Class C shrubland	Flat/upslope (0°)	51m	BAL-12.5	N/A	N/A
215	Yes	3	Class C shrubland	Flat/upslope (0°)	48m	BAL-12.5	N/A	N/A
216	Yes	3	Class C shrubland	Flat/upslope (0°)	43m	BAL-12.5	N/A	N/A
217	Yes	3	Class C shrubland	Flat/upslope (0°)	38m	BAL-12.5	N/A	N/A
218	Yes	3	Class C Shrubland	Flat/upslope (0°)	85m	BAL-12.5	N/A	N/A
224	Yes	3	Class C Shrubland	Flat/upslope (0°)	13m	BAL-19	N/A	N/A
225	Yes	3	Class C Shrubland	Flat/upslope (0°)	13m	BAL-19	N/A	N/A
226	Yes	3	Class C Shrubland	Flat/upslope (0°)	13m	BAL-19	6m front setback	BAL-12.5
227	Yes	3	Class C Shrubland	Flat/upslope (0°)	13m	BAL-19	N/A	N/A
228	Yes	3	Class C Shrubland	Flat/upslope (0°)	28m	BAL-12.5	N/A	N/A
229	Yes	3	Class C Shrubland	Flat/upslope (0°)	44m	BAL-12.5	N/A	N/A
230	Yes	3	Class C Shrubland	Flat/upslope (0°)	56m	BAL-12.5	N/A	N/A
231	Yes	3	Class C Shrubland	Flat/upslope (0°)	68m	BAL-12.5	N/A	N/A
232	Yes	3	Class C Shrubland	Flat/upslope (0°)	72m	BAL-12.5	N/A	N/A

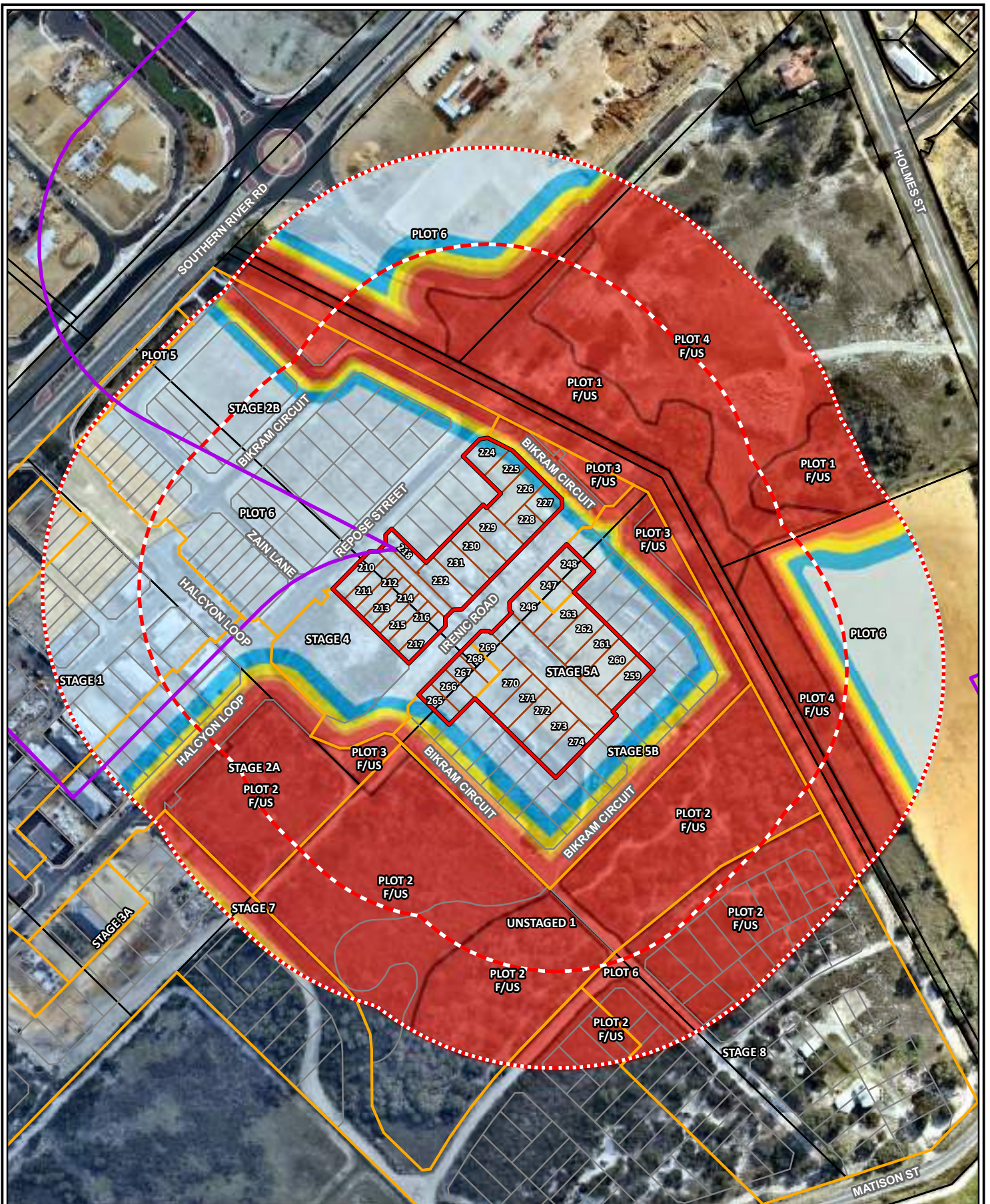
Lot	Designated bushfire prone area	Plot	Vegetation classification	Effective slope	Separation (m)	Highest BAL	Setback required to achieve lower BAL	Reduced BAL rating* with setback
246	Yes	3	Class C Shrubland	Flat/upslope (0°)	58m	BAL-12.5	N/A	N/A
247	Yes	3	Class C Shrubland	Flat/upslope (0°)	43m	BAL-12.5	N/A	N/A
248	Yes	3	Class C Shrubland	Flat/upslope (0°)	28m	BAL-12.5	N/A	N/A
259	Yes	2	Class D scrub	Flat/upslope (0°)	41m	BAL-12.5	N/A	N/A
260	Yes	3	Class C Shrubland	Flat/upslope (0°)	43m	BAL-12.5	N/A	N/A
261	Yes	3	Class C Shrubland	Flat/upslope (0°)	43m	BAL-12.5	N/A	N/A
262	Yes	3	Class C Shrubland	Flat/upslope (0°)	43m	BAL-12.5	N/A	N/A
263	Yes	3	Class C Shrubland	Flat/upslope (0°)	43m	BAL-12.5	N/A	N/A
265	Yes	2	Class D Scrub	Flat/upslope (0°)	24.5m	BAL-19	2.5m truncated side setback off southwest boundary	BAL-12.5
266	Yes	2	Class D Scrub	Flat/upslope (0°)	34m	BAL-12.5	N/A	N/A
267	Yes	2	Class D Scrub	Flat/upslope (0°)	43m	BAL-12.5	N/A	N/A
268	Yes	2	Class D Scrub	Flat/upslope (0°)	53m	BAL-12.5	N/A	N/A
269	Yes	2	Class D Scrub	Flat/upslope (0°)	62m	BAL-12.5	N/A	N/A
270	Yes	2	Class D Scrub	Flat/upslope (0°)	43m	BAL-12.5	N/A	N/A
271	Yes	2	Class D Scrub	Flat/upslope (0°)	43m	BAL-12.5	N/A	N/A
272	Yes	2	Class D Scrub	Flat/upslope (0°)	43m	BAL-12.5	N/A	N/A
273	Yes	2	Class D Scrub	Flat/upslope (0°)	43m	BAL-12.5	N/A	N/A
274	Yes	2	Class D Scrub	Flat/upslope (0°)	38m	BAL-12.5	N/A	N/A

*The new BAL rating can only be confirmed once the building plan for the relevant lot has been prepared to demonstrate compliance with the recommended setback.

3.2.1 BAL certificates

BAL certificates for the subject lots are provided in Appendix A in accordance with the BAL contour assessment results detailed in Table 4 and Figure 2.

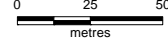
Should a lower BAL rating be realistically achievable through an appropriate building setback, then the landowner can refer to the recommended setbacks listed in Table 4. The lower BAL rating may be achieved if the recommended building setback is reflected on the building plan for that lot and a revised BAL certificate can be issued at that time.



Legend

- | | | | |
|--|---|--|--------------|
| | Project area | | BAL contours |
| | 100m assessment area | | BAL 40 |
| | 150m assessment area | | BAL 29 |
| | Cadastral boundary | | BAL 19 |
| | Bushfire prone areas | | BAL 12.5 |
| | Classified vegetation | | BAL Low |
| | Stage boundary | | Roads (MRWA) |
| | Proposed lots | | |
| | Future indicative lot layout on adjacent stages | | |

Scale 1:2,600 at A4



Coord. Sys. GDA 1994 MGA Zone 50



Job No: 61179

Client: LWP Property Group

Version: A

Date: 01-Jul-2021

Drawn By: jcrute

Checked By: CT

**Stages 4 and 5A Ambia Estate,
Southern River, WA**

BAL CONTOUR MAP

FIGURE 2



4. Conclusion and recommendations

This BMP compliance and condition clearance report has been prepared for 36 proposed residential lots within Stages 4 and 5A Ambia Estate to demonstrate successful implementation of the endorsed BMP and compliance with bushfire protection criteria of the Guidelines relevant to this stage of development.

Assessment results are consistent with current on-ground conditions. Strategen-JBS&G can confirm that the existing BMP over the site has been implemented as intended throughout the duration of subdivisional works for the relevant Stages 4 and 5A area and adjacent land to achieve the BAL outcomes compliant with BMP and the bushfire protection criteria of the Guidelines.

Ongoing requirements of the current City of Gosnells annual firebreak notice should continue to be implemented as required, particularly with regards to ongoing fuel management of vacant land.

5. References

Department of Fire and Emergency Services (DFES) 2019, *Map of Bush Fire Prone Areas*, [Online], Government of Western Australia, available from: <https://maps.slip.wa.gov.au/landgate/bushfireprone/>, [30/06/2021].

Department of Planning (DoP) 2016, *Visual guide for bushfire risk assessment in Western Australia*, Department of Planning, Perth.

Standards Australia (SA) 2018, *Australian Standard AS 3959–2018 Construction of Buildings in Bushfire-prone Areas*, Standards Australia, Sydney.

Strategen 2018, *Bushfire Management Plan: Lots 13, 14, 21 and 22 Southern River Road and Lots 19 and 20 Matison Street, Southern River*, report prepared for LWP Property, March 2018.

Western Australian Planning Commission (WAPC) 2017, *Guidelines for Planning in Bushfire Prone Areas*, Version 1.3 August 2017, Western Australian Planning Commission, Perth.

6. Limitations

Scope of services

This report ("the report") has been prepared by Strategen-JBS&G in accordance with the scope of services set out in the contract, or as otherwise agreed, between the Client and Strategen-JBS&G. In some circumstances, a range of factors such as time, budget, access and/or site disturbance constraints may have limited the scope of services. This report is strictly limited to the matters stated in it and is not to be read as extending, by implication, to any other matter in connection with the matters addressed in it.

Reliance on data

In preparing the report, Strategen-JBS&G has relied upon data and other information provided by the Client and other individuals and organisations, most of which are referred to in the report ("the data"). Except as otherwise expressly stated in the report, Strategen-JBS&G has not verified the accuracy or completeness of the data. To the extent that the statements, opinions, facts, information, conclusions and/or recommendations in the report ("conclusions") are based in whole or part on the data, those conclusions are contingent upon the accuracy and completeness of the data. Strategen-JBS&G has also not attempted to determine whether any material matter has been omitted from the data. Strategen-JBS&G will not be liable in relation to incorrect conclusions should any data, information or condition be incorrect or have been concealed, withheld, misrepresented or otherwise not fully disclosed to Strategen-JBS&G. The making of any assumption does not imply that Strategen-JBS&G has made any enquiry to verify the correctness of that assumption.

The report is based on conditions encountered and information received at the time of preparation of this report or the time that site investigations were carried out. Strategen-JBS&G disclaims responsibility for any changes that may have occurred after this time. This report and any legal issues arising from it are governed by and construed in accordance with the law of Western Australia as at the date of this report.

Environmental conclusions

Within the limitations imposed by the scope of services, the preparation of this report has been undertaken and performed in a professional manner, in accordance with generally accepted environmental consulting practices. No other warranty, whether express or implied, is made.

The advice herein relates only to this project and all results conclusions and recommendations made should be reviewed by a competent person with experience in environmental investigations, before being used for any other purpose.

Strategen-JBS&G accepts no liability for use or interpretation by any person or body other than the client who commissioned the works. This report should not be reproduced without prior approval by the client, or amended in any way without prior approval by Strategen-JBS&G, and should not be relied upon by other parties, who should make their own enquiries.

Appendix A BAL certificates

Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			210	Zola Lane		
Local government area	Suburb			State	Postcode	
	Southern River			WA	6110	
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling			
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/Upslope	63m	BAL - 12.5

BPAD Accredited Practitioner Details

Name Zac Cockerill	<div style="border: 1px solid black; padding: 5px;"> <p>I hereby declare that I am a BPAD accredited bushfire practitioner. </p> <p>Accreditation No. <u>37803</u></p> <p>Signature <u>[Signature]</u></p> <p>Date <u>5/7/21</u></p> </div>
Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G	
I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	

Authorised Practitioner Stamp

Reliance on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated certificate issued.

Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference	
			211	Zola Lane	
Local government area	Suburb			State	Postcode
	Southern River			WA	6110
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling		
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s				

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/Upslope	63m	BAL - 12.5

BPAD Accredited Practitioner Details

Name Zac Cockerill	 <p>I hereby declare that I am a BPAD accredited bushfire practitioner.</p> <p>Accreditation No. 37863</p> <p>Signature <i>ZC</i></p> <p>Date 5/7/21</p>
Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G	
I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	

Authorised Practitioner Stamp

Reliance on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated certificate issued.

Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			212	Zola Lane		
Local government area	Suburb			State	Postcode	
	Southern River			WA	6110	
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling			
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class C Shrubland	Flat/Upslope	61m	BAL - 12.5

BPAD Accredited Practitioner Details

<p>Name Zac Cockerill</p>	 <p>I hereby declare that I am a BPAD accredited bushfire practitioner.</p> <p>Accreditation No. 37803</p> <p>Signature <i>ZC</i></p> <p>Date 5/7/21</p>
<p>Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G</p>	
<p>I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.</p>	

Authorised Practitioner Stamp

Reference on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated certificate issued.

Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			213	Zola Lane		
Local government area	Suburb			State	Postcode	
	Southern River			WA	6110	
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling			
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class C Shrubland	Flat/Upslope	56m	BAL - 12.5

BPAD Accredited Practitioner Details

<p>Name Zac Cockerill</p>	 <p>I hereby declare that I am a BPAD accredited bushfire practitioner.</p> <p>Accreditation No. 37803</p> <p>Signature <i>ZC</i></p> <p>Date 5/7/21</p>
<p>Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G</p>	
<p>I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.</p>	

Authorised Practitioner Stamp

Reliance on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated certificate issued.

Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.


Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			214	Zola Lane		
Local government area	Suburb			State	Postcode	
	Southern River			WA	6110	
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling			
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class C Shrubland	Flat/Upslope	51m	BAL - 12.5

BPAD Accredited Practitioner Details

Name Zac Cockerill	<div style="border: 1px solid black; padding: 5px;"> <p>I hereby declare that I am a BPAD accredited bushfire practitioner. </p> <p>Accreditation No. <u>37803</u></p> <p>Signature <u>[Signature]</u></p> <p>Date <u>5/7/21</u></p> </div>
Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G	
I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	

Authorised Practitioner Stamp

Balance on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated certificate issued.

Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

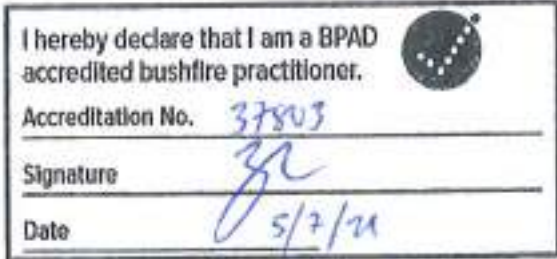
Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			215	Zola Lane		
Local government area	Suburb			State	Postcode	
	Southern River			WA	6110	
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling			
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class C Shrubland	Flat/Upslope	48m	BAL - 12.5

BPAD Accredited Practitioner Details

<p>Name Zac Cockerill</p>	 <p>I hereby declare that I am a BPAD accredited bushfire practitioner.</p> <p>Accreditation No. 37803</p> <p>Signature <i>ZC</i></p> <p>Date 5/7/21</p>
<p>Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G</p>	
<p>I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.</p>	

Authorised Practitioner Stamp

Reliance on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated certificate issued.

Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

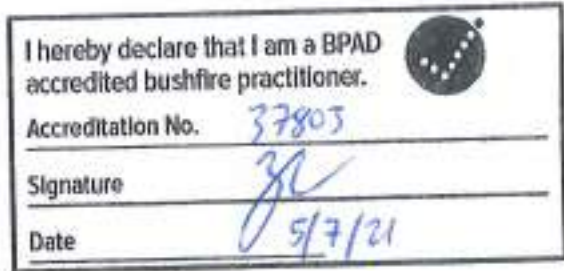
Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference	
			216	Zola Lane	
Local government area	Suburb			State	Postcode
	Southern River			WA	6110
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling		
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s				

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class C Shrubland	Flat/Upslope	43m	BAL - 12.5

BPAD Accredited Practitioner Details

Name Zac Cockerill	 <p>I hereby declare that I am a BPAD accredited bushfire practitioner.</p> <p>Accreditation No. 37803</p> <p>Signature [Signature]</p> <p>Date 5/7/21</p>
Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G	
I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	

Authorised Practitioner Stamp

Reliance on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated certificate issued.

Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.


Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			217	Zola Lane		
Local government area	Suburb			State	Postcode	
	Southern River			WA	6110	
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling			
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class C Shrubland	Flat/Upslope	38m	BAL - 12.5

BPAD Accredited Practitioner Details

<p>Name Zac Cockerill</p>	<div style="border: 1px solid black; padding: 5px;"> <p>I hereby declare that I am a BPAD accredited bushfire practitioner. </p> <p>Accreditation No. <u>37803</u></p> <p>Signature <u><i>Zac Cockerill</i></u></p> <p>Date <u>5/7/21</u></p> </div> <p><i>Authorised Practitioner Stamp</i></p>
<p>Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G</p>	
<p>I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.</p>	

Reliance on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated certificate issued.

Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.


Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			218	Repose Street		
Local government area	Suburb			State	Postcode	
	Southern River			WA	6110	
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling			
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s.					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class C Shrubland	Flat/Upslope	85m	BAL - 12.5

BPAD Accredited Practitioner Details

Name Zac Cockerill	<div style="border: 1px solid black; padding: 5px;"> <p>I hereby declare that I am a BPAD accredited bushfire practitioner. </p> <p>Accreditation No. <u>3783</u></p> <p>Signature <u>ZC</u></p> <p>Date <u>5/7/21</u></p> </div>
Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G	
I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	

Authorised Practitioner Stamp

Reliance on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated certificate issued.

Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

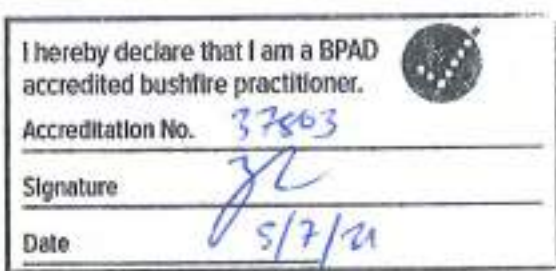
Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			224	Bikram Circuit		
Local government area	Suburb			State	Postcode	
	Southern River			WA	6110	
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling			
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class C Shrubland	Flat/Upslope	13m	BAL - 19

BPAD Accredited Practitioner Details

Name Zac Cockerill	 <p>I hereby declare that I am a BPAD accredited bushfire practitioner.</p> <p>Accreditation No. 37803</p> <p>Signature <i>ZC</i></p> <p>Date 5/7/21</p>
Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G	
I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	

Authorised Practitioner Stamp

Reliance on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated certificate issued.

Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			225	Bikram Circuit		
Local government area	Suburb			State	Postcode	
	Southern River			WA	6110	
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling			
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class C Shrubland	Flat/Upslope	13m	BAL - 19

BPAD Accredited Practitioner Details

Name Zac Cockerill	 <p>I hereby declare that I am a BPAD accredited bushfire practitioner.</p> <p>Accreditation No. 37803</p> <p>Signature <i>ZC</i></p> <p>Date 5/7/21</p>
Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G	
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Authorised Practitioner Stamp

Reliance on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated certificate issued.

Bushfire Attack Level (BAL) Certificate

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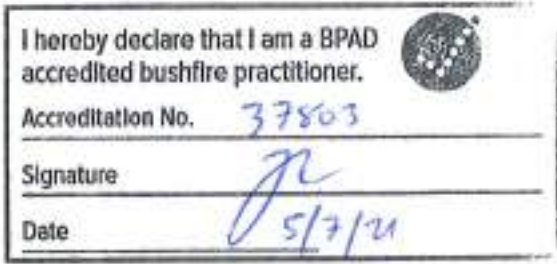
Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference	
			226	Bikram Circuit	
Local government area	Suburb			State	Postcode
	Southern River			WA	6110
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling		
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s				

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class C Shrubland	Flat/Upslope	13m (lower BAL achievable with setback)	BAL – 19

BPAD Accredited Practitioner Details

Name Zac Cockerill	 <p>I hereby declare that I am a BPAD accredited bushfire practitioner.</p> <p>Accreditation No. 37803</p> <p>Signature <i>ZC</i></p> <p>Date 5/7/21</p>
Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G	
I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	

Authorised Practitioner Stamp

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Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

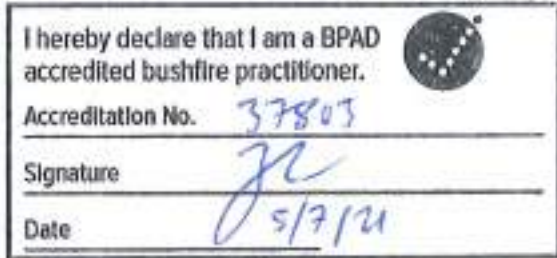
Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			227	Bikram Circuit		
Local government area	Suburb			State	Postcode	
	Southern River			WA	6110	
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling			
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s.					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class C Shrubland	Flat/Upslope	13m	BAL - 19

BPAD Accredited Practitioner Details

Name Zac Cockerill	 <p>I hereby declare that I am a BPAD accredited bushfire practitioner.</p> <p>Accreditation No. 37803</p> <p>Signature <i>ZC</i></p> <p>Date 5/7/21</p>
Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G	
I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	

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Bushfire Attack Level (BAL) Certificate

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Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			228	Irenic Road		
Local government area	Suburb			State	Postcode	
	Southern River			WA	6110	
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling			
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class C Shrubland	Flat/Upslope	28m	BAL - 12.5

BPAD Accredited Practitioner Details

Name Zac Cockerill	<div style="border: 1px solid black; padding: 5px;"> <p>I hereby declare that I am a BPAD accredited bushfire practitioner. </p> <p>Accreditation No. <u>37803</u></p> <p>Signature <u>[Signature]</u></p> <p>Date <u>5/7/21</u></p> </div>
Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G	
I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	

Authorised Practitioner Stamp

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Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS 3959-2018

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Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			229	Irenic Road		
Local government area	Suburb			State	Postcode	
	Southern River			WA	6110	
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling			
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class C Shrubland	Flat/Upslope	44m	BAL - 12.5

BPAD Accredited Practitioner Details

Name Zac Cockerill	 <p>I hereby declare that I am a BPAD accredited bushfire practitioner.</p> <p>Accreditation No. 37803</p> <p>Signature <i>ZC</i></p> <p>Date 5/7/21</p>
Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G	
I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	

Authorised Practitioner Stamp

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Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			230	Irenic Road		
Local government area	Suburb			State	Postcode	
	Southern River			WA	6110	
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling			
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class C Shrubland	Flat/Upslope	56m	BAL - 12.5

BPAD Accredited Practitioner Details

Name Zac Cockerill	<div style="border: 1px solid black; padding: 5px;"> <p>I hereby declare that I am a BPAD accredited bushfire practitioner. </p> <p>Accreditation No. <u>37803</u></p> <p>Signature <u>[Signature]</u></p> <p>Date <u>5/7/21</u></p> </div>
Company Details JBS&G Australia Pty Ltd T/A 5strategen JBS&G	
I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	

Authorised Practitioner Stamp

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Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			231	Irenic Road		
Local government area	Suburb			State	Postcode	
	Southern River			WA	6110	
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling			
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s.					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class C Shrubland	Flat/Upslope	68m	BAL - 12.5

BPAD Accredited Practitioner Details

Name Zac Cockerill	 <p>I hereby declare that I am a BPAD accredited bushfire practitioner.</p> <p>Accreditation No. 37803</p> <p>Signature <i>ZC</i></p> <p>Date 5/7/21</p>
Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G	
I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	

Authorised Practitioner Stamp

Reliance on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated certificate issued.

Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS 3959-2018

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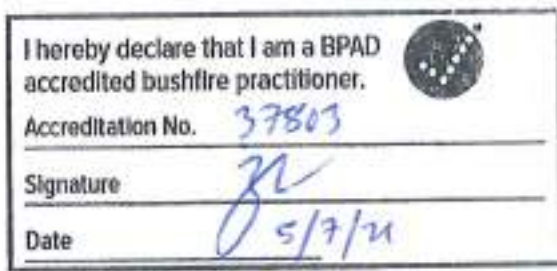
Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference	
			232	Irenic Road	
Local government area	Suburb			State	Postcode
	Southern River			WA	6110
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling		
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s				

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class C Shrubland	Flat/Upslope	72m	BAL - 12.5

BPAD Accredited Practitioner Details

<p>Name Zac Cockerill</p>	 <p>I hereby declare that I am a BPAD accredited bushfire practitioner.</p> <p>Accreditation No. 37803</p> <p>Signature <i>ZC</i></p> <p>Date 5/7/21</p>
<p>Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G</p>	
<p>I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.</p>	

Reliance on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated certificate issued.

Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			246	Irenic Road		
Local government area	Suburb			State	Postcode	
	Southern River			WA	6110	
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling			
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class C Shrubland	Flat/Upslope	58m	BAL - 12.5

BPAD Accredited Practitioner Details

Name Zac Cockerill	 <p>I hereby declare that I am a BPAD accredited bushfire practitioner.</p> <p>Accreditation No. 37803</p> <p>Signature <i>ZC</i></p> <p>Date 5/7/21</p>
Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G	
I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	

Authorised Practitioner Stamp

Reliance on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated certificate issued.

Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

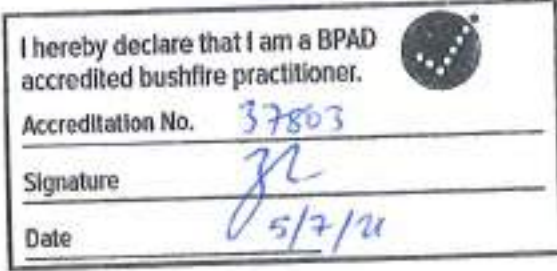
Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference	
			247	Irenic Road	
Local government area	Suburb			State	Postcode
	Southern River			WA	6110
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling		
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s				

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class C Shrubland	Flat/Upslope	43m	BAL - 12.5

BPAD Accredited Practitioner Details

Name Zac Cockerill	 <p>I hereby declare that I am a BPAD accredited bushfire practitioner.</p> <p>Accreditation No. 37803</p> <p>Signature <i>ZC</i></p> <p>Date 5/7/21</p>
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Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS 3959-2018

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Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			248	Irenic Road		
Local government area	Suburb			State	Postcode	
	Southern River			WA	6110	
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling			
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class C Shrubland	Flat/Upslope	28m	BAL - 12.5

BPAD Accredited Practitioner Details

Name Zac Cockerill	<div style="border: 1px solid black; padding: 5px;"> <p>I hereby declare that I am a BPAD accredited bushfire practitioner. </p> <p>Accreditation No. <u>37803</u></p> <p>Signature <u><i>Zac Cockerill</i></u></p> <p>Date <u>5/7/21</u></p> </div>
Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G	
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Bushfire Attack Level (BAL) Certificate

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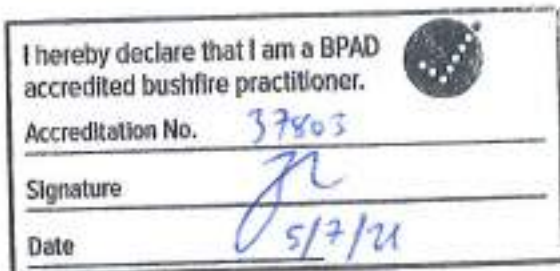
Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			259	Kenchuto Way		
Local government area	Suburb			State	Postcode	
	Southern River			WA	6110	
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling			
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/Upslope	41m	BAL - 12.5

BPAD Accredited Practitioner Details

Name Zac Cockerill	 <p>I hereby declare that I am a BPAD accredited bushfire practitioner.</p> <p>Accreditation No. 37803</p> <p>Signature <i>Zac Cockerill</i></p> <p>Date 5/7/21</p>
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Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			260	Kenchuto Way		
Local government area	Suburb			State	Postcode	
	Southern River			WA	6110	
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling			
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class C Shrubland	Flat/Upslope	43m	BAL - 12.5

BPAD Accredited Practitioner Details

Name Zac Cockerill	 <p>I hereby declare that I am a BPAD accredited bushfire practitioner.</p> <p>Accreditation No. <u>37803</u></p> <p>Signature <u>ZC</u></p> <p>Date <u>05/7/21</u></p>
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Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference	
			261	Kenchuto Way	
Local government area	Suburb			State	Postcode
	Southern River			WA	6110
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling		
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s				

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class C Shrubland	Flat/Upslope	43m	BAL - 12.5

BPAD Accredited Practitioner Details

Name Zac Cockerill	 <p>I hereby declare that I am a BPAD accredited bushfire practitioner.</p> <p>Accreditation No. 37803</p> <p>Signature <i>ZC</i></p> <p>Date 5/7/21</p>
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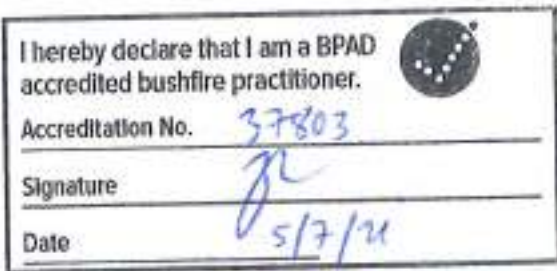
Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			262	Kenchuto Way		
Local government area	Suburb			State	Postcode	
	Southern River			WA	6110	
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling			
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class C Shrubland	Flat/Upslope	43m	BAL - 12.5

BPAD Accredited Practitioner Details

<p>Name Zac Cockerill</p>	 <p>I hereby declare that I am a BPAD accredited bushfire practitioner.</p> <p>Accreditation No. 37803</p> <p>Signature <i>Zac Cockerill</i></p> <p>Date 5/7/21</p>
<p>Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G</p>	
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Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			263	Kenchuto Way		
Local government area	Suburb			State	Postcode	
	Southern River			WA	6110	
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling			
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s.					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class C Shrubland	Flat/Upslope	43m	BAL - 12.5

BPAD Accredited Practitioner Details

<p>Name Zac Cockerill</p>	 <p>I hereby declare that I am a BPAD accredited bushfire practitioner.</p> <p>Accreditation No. 37803</p> <p>Signature <i>ZC</i></p> <p>Date 5/7/21</p>
<p>Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G</p>	
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Bushfire Attack Level (BAL) Certificate

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This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference	
			265	Irenic Road	
Local government area	Suburb			State	Postcode
	Southern River			WA	6110
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling		
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s				

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/Upslope	24.5m (lower BAL achievable with setback)	BAL - 19

BPAD Accredited Practitioner Details

<p>Name Zac Cockerill</p> <p>Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G</p> <p>I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.</p>	<div style="border: 1px solid black; padding: 10px;"> <p>I hereby declare that I am a BPAD accredited bushfire practitioner. </p> <p>Accreditation No. <u>37803</u></p> <p>Signature <u>[Signature]</u></p> <p>Date <u>05/7/21</u></p> </div> <p style="text-align: center; font-size: small;">Authorized Practitioner Stamp</p>
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Reliance on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated certificate issued.

Bushfire Attack Level (BAL) Certificate

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This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			266	Irenic Road		
Local government area	Suburb			State	Postcode	
	Southern River			WA	6110	
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling			
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/Upslope	34m	BAL - 12.5

BPAD Accredited Practitioner Details

<p>Name Zac Cockerill</p>	 <p>I hereby declare that I am a BPAD accredited bushfire practitioner.</p> <p>Accreditation No. <u>37803</u></p> <p>Signature <u>[Signature]</u></p> <p>Date <u>5/7/21</u></p>
<p>Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G</p>	
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Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS 3959-2018

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Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			267	Irenic Road		
Local government area	Suburb			State	Postcode	
	Southern River			WA	6110	
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling			
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/Upslope	43m	BAL - 12.5

BPAD Accredited Practitioner Details

Name Zac Cockerill	<div style="border: 1px solid black; padding: 5px;"> <p>I hereby declare that I am a BPAD accredited bushfire practitioner. </p> <p>Accreditation No. <u>37803</u></p> <p>Signature <u>[Signature]</u></p> <p>Date <u>5/7/21</u></p> </div>
Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G	
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Authorised Practitioner Stamp

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Bushfire Attack Level (BAL) Certificate

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Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			268	Irenic Road		
Local government area	Suburb			State	Postcode	
	Southern River			WA	6110	
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling			
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/Upslope	53m	BAL - 12.5

BPAD Accredited Practitioner Details

Name Zac Cockerill	<div style="border: 1px solid black; padding: 5px;"> <p>I hereby declare that I am a BPAD accredited bushfire practitioner. </p> <p>Accreditation No. <u>37803</u></p> <p>Signature <u><i>Zac Cockerill</i></u></p> <p>Date <u>5/7/21</u></p> </div>
Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G	
I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	

Authorised Practitioner Stamp

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Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			269	Irenic Road		
Local government area	Suburb			State	Postcode	
	Southern River			WA	6110	
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling			
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/Upslope	62m	BAL - 12.5

BPAD Accredited Practitioner Details

<p>Name Zac Cockerill</p>	<div style="border: 1px solid black; padding: 5px;"> <p>I hereby declare that I am a BPAD accredited bushfire practitioner. </p> <p>Accreditation No. <u>37803</u></p> <p>Signature <u>[Signature]</u></p> <p>Date <u>5/7/21</u></p> </div> <p><i>Accredited Practitioner Stamp</i></p>
<p>Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G</p>	
<p>I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.</p>	

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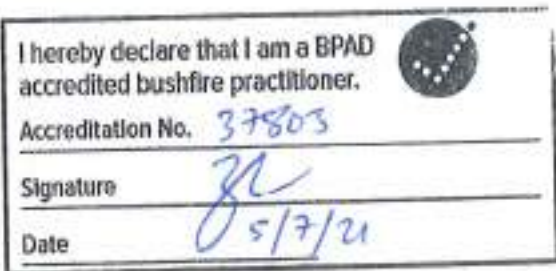
Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			270	Kenchuto Way		
Local government area	Suburb			State	Postcode	
	Southern River			WA	6110	
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling			
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s.					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/Upslope	43m	BAL - 12.5

BPAD Accredited Practitioner Details

Name Zac Cockerill	 <p>I hereby declare that I am a BPAD accredited bushfire practitioner.</p> <p>Accreditation No. 37803</p> <p>Signature <i>ZC</i></p> <p>Date 05/7/21</p>
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Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			271	Kenchuto Way		
Local government area	Suburb			State	Postcode	
	Southern River			WA	6110	
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling			
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/Upslope	43m	BAL - 12.5

BPAD Accredited Practitioner Details

<p>Name Zac Cockerill</p>	 <p>I hereby declare that I am a BPAD accredited bushfire practitioner.</p> <p>Accreditation No. <u>37803</u></p> <p>Signature <u>[Signature]</u></p> <p>Date <u>5/7/21</u></p>
<p>Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G</p>	
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Reliance on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 22 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated certificate issued.

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Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			272	Kenchuto Way		
Local government area	Suburb			State	Postcode	
	Southern River			WA	6110	
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling			
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/Upslope	43m	BAL - 12.5

BPAD Accredited Practitioner Details

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Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G	
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Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

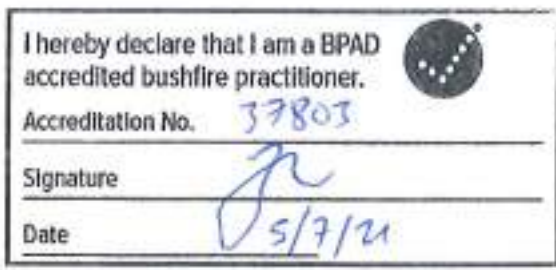
Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			273	Kenchuto Way		
Local government area	Suburb			State	Postcode	
	Southern River			WA	6130	
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling			
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/Upslope	43m	BAL - 12.5

BPAD Accredited Practitioner Details

Name Zac Cockerill	 <p>I hereby declare that I am a BPAD accredited bushfire practitioner.</p> <p>Accreditation No. 37803</p> <p>Signature <i>Zac Cockerill</i></p> <p>Date 5/7/21</p>
Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G	
I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	

Accredited Practitioner Stamp

Reliance on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated certificate issued.

Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report (full report) prepared by the Accredited Practitioner.

Property Details and Description of Works

Address Details	Unit no	Street no	Lot no	Street name / Plan Reference		
			274	Kenchuta Way		
Local government area	Suburb			State	Postcode	
	Southern River			WA	6110	
Main BCA class of the building	Class 1a	Use(s) of the building	Residential dwelling			
Description of the building or works	Construction of a single Class 1a building and associated Class 10a building/s.					

Determination of Highest Bushfire Attack Level

AS 3959 Assessment Procedure	Vegetation Classification	Effective Slope	Separation Distance	BAL
Method 1	Class D Scrub	Flat/Upslope	38m	BAL -12.5

BPAD Accredited Practitioner Details

Name Zac Cockerill	 <p>I hereby declare that I am a BPAD accredited bushfire practitioner.</p> <p>Accreditation No. 37803</p> <p>Signature <i>[Signature]</i></p> <p>Date 5/7/20</p>
Company Details JBS&G Australia Pty Ltd T/A Strategen JBS&G	
I hereby certify that I have undertaken the assessment of the above site and determined the Bushfire Attack Level stated above in accordance with the requirements of AS 3959-2018.	

Authorised Practitioner Stamp

Reliance on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated certificate issued.

Appendix B Vegetation plot photos and description



Photo ID: 1a



Photo ID: 1b

Plot number	Plot 1
Vegetation classification	Class B Woodland
Description / justification	Scattered Eucalyptus dominated woodland with grassland surface fuels



Photo ID: 2a



Photo ID: 2b



Photo ID: 2c



Photo ID: 2d



Photo ID: 2e



Photo ID: 2f



Photo ID: 2g



Photo ID: 2h

Plot number	Plot 2
Vegetation classification	Class D Scrub
Description / justification	Scrub vegetation with a continuous horizontal fuel profile between 2–6 m in height



Photo ID: 3a



Photo ID: 3c



Photo ID: 3d



Photo ID: 3e



Photo ID: 3f

Plot number	Plot 3
Vegetation classification	Class C Shrubland
Description / justification	Complete and proposed drainage basins as per landscape plans



Photo ID: 4a

Plot number	Plot 4
Vegetation classification	Class G Grassland
Description / justification	Unmanaged grassland on adjacent landholdings



Photo ID: 5a

Plot number	Plot 5
Vegetation classification	Excluded – Clause 2.2.3.2 [c]
Description / justification	Drainage/verge planting along Southern River Road that is less than 0.25 ha and greater than 20 m from any other classified vegetation



Photo ID: 6a



Photo ID: 6b



Photo ID: 6c



Photo ID: 6d



Photo ID: 6e

Plot number	Plot 6
Vegetation classification	Excluded – Non-vegetated and Low threat (Clause 2.2.3.2 [e] and [f])
Description / justification	Low threat cultivated gardens and maintained lawns within surrounding properties and non-vegetated areas including roads, footpaths, driveways and building footprints

Appendix C Landscaping plan



CERTIFICATION: This drawing shall not be used for construction purposes unless Revised D Issued for Construction and signed and approved by the Certifying Landscape Architect. Verify all dimensions on site before commencing work or ordering materials. Refer any discrepancy to Landscape Architect before proceeding with the works.

DO NOT SCALE FROM THE DRAWING

DATE	REV	DESCRIPTION	BY	AP
23.05.19	A	ISSUED FOR APPROVAL	ML	KD
08.08.19	B	UPDATED TO SUIT COUNCIL COMMENTS	KD	KD
23.10.19	C	UPDATED TO SUIT COUNCIL COMMENTS	ML	KD

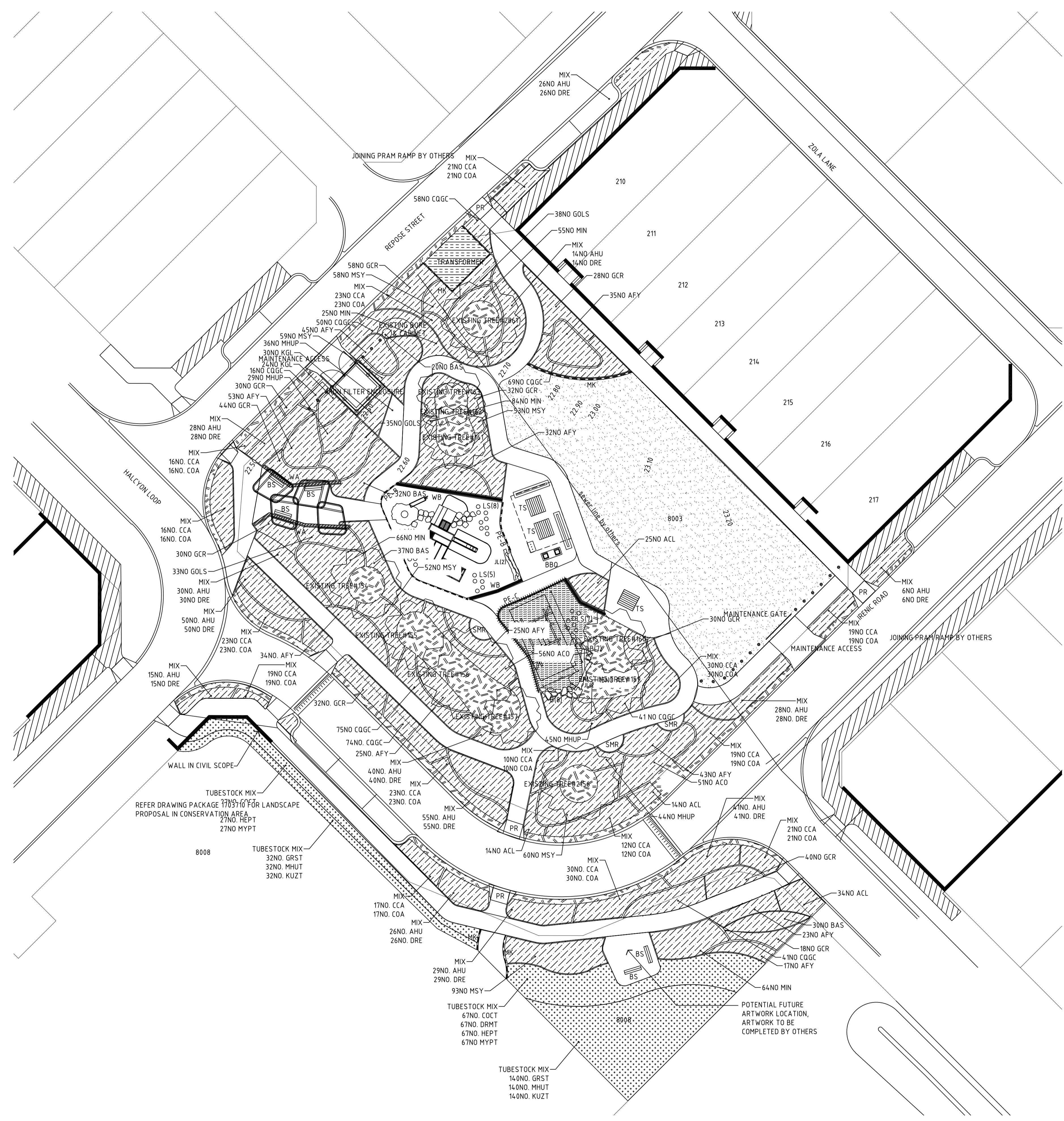
LEGEND:

- SYM. DESCRIPTION
- GARDEN BED TYPE A: SHRUBS
IRRIGATED: YES
MULCH: 75mm (THK) ENVIROMULCH
IMPORTED SOIL CONDITIONER: 50mm
 - GARDEN BED TYPE B: TUBESTOCK
IRRIGATED: NO
MULCH: 75mm (THK) ENVIROMULCH
IMPORTED SOIL CONDITIONER: 50mm OR
 - TURF GRASSING: KIKUYU
IRRIGATED: YES
IMPORTED SAND: 100mm TURF SAND
 - MULCH ONLY:
TYPE: IMPORTED ENVIROMULCH
DEPTH: 100mm, SUPPLY & INSTALL.
 - SOFTFALL TYPE 1: CLEAN WHITE SAND
DEPTH: 400mm DEEP
ON COMPACTED SUBGRADE,
REFER DETAIL 06/L7-101.
 - SOFTFALL TYPE 2: PLAY MULCH
DEPTH: 400mm DEEP
ON COMPACTED SUBGRADE,
REFER DETAIL 07/L7-101.
 - EXISTING TREES TO BE RETAINED & PROTECTED DURING CONSTRUCTION.

NOTE:
STREET TREES ARE TO BE LOCATED AT A MIN CLEARANCE OF 7m FROM STREET LIGHTS & 1.2m FROM SIDE ENTRY DRAINAGE PITS & SERVICE PITS AS PER COUNCIL/SHIRE REQUIREMENTS. IMPORTED SOIL TO ALL TREES INSTALLED BY CONTRACTOR. LANDSCAPE CONTRACTOR IS TO PEG ALL TREE LOCATIONS TO THE SUPERINTENDENT'S APPROVAL PRIOR TO INSTALLATION. PLANTS USED IN MIXED PLANTING ARE TO BE SPACED AS SHOWN & PLACED WHERE NO MORE THAN THREE (3) PLANTS OF THE SAME SPECIES ARE ADJACENT TO EACH OTHER. ALL PLANTING TO BE OFFSET 500mm FROM ROAD KERBS AND FOOTPATHS AS PER GOSNELLS STANDARDS ALL ROAD KERBS TO BE AS PER CIVIL ENGINEERS DRAWINGS AND GOSNELLS STANDARDS

LEGEND:

- SYM. DESCRIPTION
- PAVEMENT TYPE A:
INSITU CONCRETE, 32MPA
COLOUR: 'CCS BOULDER'
THICKNESS: 100mm WITH 150mm THICKENED EDGES
FINISH: SMOOTH TROWEL FINISH
REFER DETAIL 01/L7.101
 - PAVEMENT TYPE B:
INSITU CONCRETE, 32MPA
COLOUR: NATURAL GREY
THICKNESS: 100mm WITH 150mm THICKENED EDGES
FINISH: BROOM FINISH
REFER DETAIL 01/L7.101
 - PAVEMENT TYPE 3: EXPOSED AGGREGATE PAVING
AGGREGATE MIX: HOLCIM 'JARRAH'
THICKNESS: 100mm WITH 150mm THICKENED EDGES
FINISH: EXPOSED WITH SEALANT
REFER DETAIL 01/L7-101.
 - PAVEMENT TYPE 4: TRAFFICABLE INSITU CONCRETE PAVING
INSITU CONCRETE, 32MPA
COLOUR: NATURAL GREY
THICKNESS: 100mm WITH 200mm THICKENED EDGES
FINISH: BROOM FINISH
REFER DETAIL 04/L7.101
 - PAVEMENT TYPE 5: COMPACTED LIMESTONE PATH
REFER DETAIL 05/L7-101.
 - WALL TYPE A:
TYPE: FREESTANDING BREEZE BLOCK WALL
MATERIALS: AUSTRAL BRICKS DIAMOND BREEZE BLOCK
REFER DETAIL 10/L7-101.
 - WALL TYPE B:
TYPE: GREY CONCRETE BLOCK WALL
REFER DETAIL 11/L7-101.
 - NEW PRAM RAMP:
INSITU CONCRETE, 32MPA
COLOUR: NATURAL GREY
REFER DETAIL 0000/L7.101
 - EDGE TYPE A: MOWING KERB
TYPE: INSITU CONCRETE
COLOUR: NATURAL GREY
REFER DETAIL 09/L7-101.
 - PLAY EDGE TYPE B:
TYPE: CONCRETE EDGE TO MULCH SOFTFALL
COLOUR: CCS BOULDER
REFER DETAIL 06/L7-101.
 - PLAY EDGE TYPE C:
TYPE: CONCRETE EDGE TO MULCH SOFTFALL
COLOUR: CCS BOULDER
REFER DETAIL 07/L7-101.
 - MOSS ROCK BOULDERS
SIZE: 600-1000Φ
REFER DETAIL 12/L7.101
 - JARRAH LOGS
SOURCED FROM SITE
REFER DETAIL 01/L7.106
 - LOG STEPPERS
SOURCED FROM SITE
REFER DETAIL 02/L7.106
 - SCOOTER MINI RAMP:
TYPE: INSITU CONCRETE
REFER DETAIL 03/L7-106.
 - TABLE SETTING: TS
MANUFACTURER: MARK COX
CODE: BWK-TBS 601-B TABLE SETTING
 - BENCH SEAT: BS
MANUFACTURER: MARK COX
CODE: BWK-SAT 1-300 BENCH SEAT WITH ARM REST
 - ENTRY SHELTER
CONSTRUCTION: ALUMINIUM STRUCTURE WITH ACRYLIC PLEXIGLASS LINING
REFER DETAIL L7-102.
 - SHADE STRUCTURE:
CONSTRUCTION: CONCRETE BLOCK WALLS WITH STEEL STRUCTURE
REFER DETAIL 01/L7.104
 - DOUBLE BBQ: BBQ
MANUFACTURER: CHRISTIE
TYPE: LARGE BRICKWORK DOUBLE BBQ
BENCH KIT - ELECTRIC HBWB-E-2.2
REFER DETAIL 04/L7.106
 - PLAYGROUND CENTRE: FLYING CARPET SWING WITH FALL ZONE
 - EXISTING TREES TO BE RETAINED & PROTECTED DURING CONSTRUCTION.
 - PATH BY CIVIL CONTRACTOR (OUTSIDE OF THIS SCOPE)
 - BLUE METAL TO TRANSFORMER SITE AS PER WESTERN POWER STANDARDS
 - BOLLARD FIXED
150mm DIAMETER DOME TOPPED PINE BOLLARDS AS PER CITY OF GOSNELLS STANDARDS



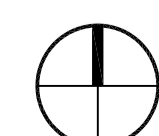
AMBIA - SOUTHERN RIVER CENTRAL POS
PREPARED FOR LWP PROPERTY GROUP PTY LTD.

LANDSCAPE WORKS - APPROVAL
SOFT LANDSCAPE WORKS - TREE PLANTING

FILE LOCATION: L:\PROJECTS\2017 PROJECTS\17037 SOUTHERN RIVER\1703705 CENTRAL POS\PROJECT\PS DRAWINGS\CONDOCS\ACAD\1703705 LC4 [C].DWG

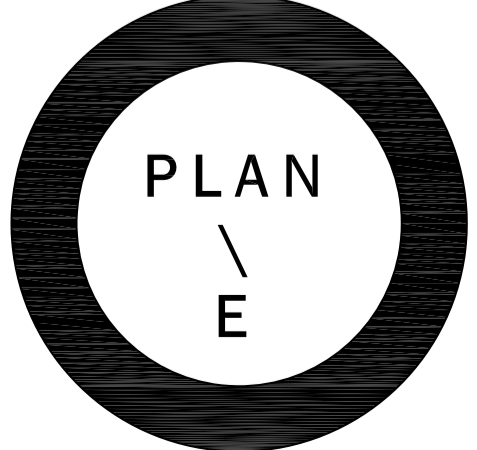
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L5.102 REV C SEP 2019



LANDSCAPE ARCHITECTS
414 ROKEBY RD SUBIACO WA 6008
T: (08) 9388 9566 E: mail@plane.com.au
LANDSPACE PTY LTD ACN 056 538 679

PLOT DATE: 24/10/2019 12:22:13 PM



PLOTTED BY: KDAWSON



CERTIFICATION:
This drawing shall not be used for construction purposes unless Revised 0 Issued for Construction and signed and approved by the Certifying Landscape Architect. Verify all dimensions on site before commencing work or ordering materials. Refer any discrepancy to Landscape Architect before proceeding with the works.
DO NOT SCALE FROM THE DRAWING

DATE	REV	DESCRIPTION	BY	AP
21.04.21	A	ISSUED FOR COUNCIL COMMENT	ML	AB

LEGEND: POS 8006

	PAVEMENT TYPE A: PEDESTRIAN (BY OTHERS) INSITU GREY CONCRETE MP@: 32MPA THICKNESS: 100mm WITH 150mm THICKENED EDGES FINISH: BROOM FINISH, NO TOOL EDGES OR JOINTS.	88 Sq.M.
	PAVEMENT TYPE B: PEDESTRIAN INSITU GREY CONCRETE MP@: 32MPA THICKNESS: 100mm WITH 150mm THICKENED EDGES FINISH: BROOM FINISH, NO TOOL EDGES OR JOINTS.	38 Sq.M.
	INSITU CONCRETE PRAM RAMPS TO MATCH PAVEMENT TYPE A.	
	MOSS ROCK BOULDER SIZE: 1000-1200φ	16 No'S.
	CULVERT & STONE PITCHING (BY OTHERS).	
	GARDEN BED (TYPE A): IRRIGATED MULCH: 75mm PINE BARK MULCH SITE SOIL CONDITIONER: 100mm 'C' WISE HORTICULTURE SOIL IMPROVER.	88 Sq.M.
	GARDEN BED (TYPE B): TUBESTOCK PLANTING TEMPORARY BROADSPRAY IRRIGATED 50mm DEPTH INFILTRATION 'ECO' MEDIA NO MULCH	139 Sq.M.
	GARDEN BED (TYPE C): TUBESTOCK PLANTING TO BASIN SIDES TEMPORARY BROADSPRAY IRRIGATED SOIL CONDITIONER MIX: PRE-PLANTING WEEED TREATMENT GIN GIN LOAM 30% C WISE HORTICULTURE 70%, 15mm SOIL CONDITIONER DEPTH. MULCH: 75mm DEEP PINE BARK MULCH	331 Sq.M.
	MULCH ONLY TYPE A: NO IRRIGATION TYPE: IMPORTED PINE BARK MULCH DEPTH: 100mm SUPPLY & INSTALL.	116 Sq.M.

TREE PLANTING

Key	Botanic Name	Pot	Spacing	Qty.
BG	BANKSIA GRANDIS	100LT	AS SHOWN	2
CA	CUPANIOPSIS ANACARDIODES 'TUCKEROO'	150LT	AS SHOWN	3
MP	MELALEUCA PRESSIANA	100LT	AS SHOWN	3
MR	MELALEUCA RHAPHIOPHYLLA	100LT	AS SHOWN	7

SHRUB PLANTING

Key	Botanic Name	Pot	Spacing	Qty.
ACS	ACACIA SALIGNA PROSTRATE	200mm	3.0 m	19

SWALE MIX

Key	Botanic Name	Pot	Spacing	Qty.
FIN	FICINIA NODOSA	TUBE	550 mm	76
ISC	ISOLEPIS CERNUA	TUBE	550 mm	76
ISN	ISOLEPIS NODOSA	TUBE	550 mm	76
JUK	JUNCUS KRAUSSII	TUBE	550 mm	76
JUP	JUNCUS PALLIDUS	TUBE	550 mm	76
TAL	TAXANDRIA LINEARIFOLIA	TUBE	550 mm	76

PLANTING MIX - A

Key	Botanic Name	Pot	Spacing	Qty.
ASS	ASTARTEA SCOPARIA	TUBE	550 mm	191
MEH	MELALEUCA HUEGELII PROSTRATE	TUBE	550 mm	191

PLANTING MIX - B

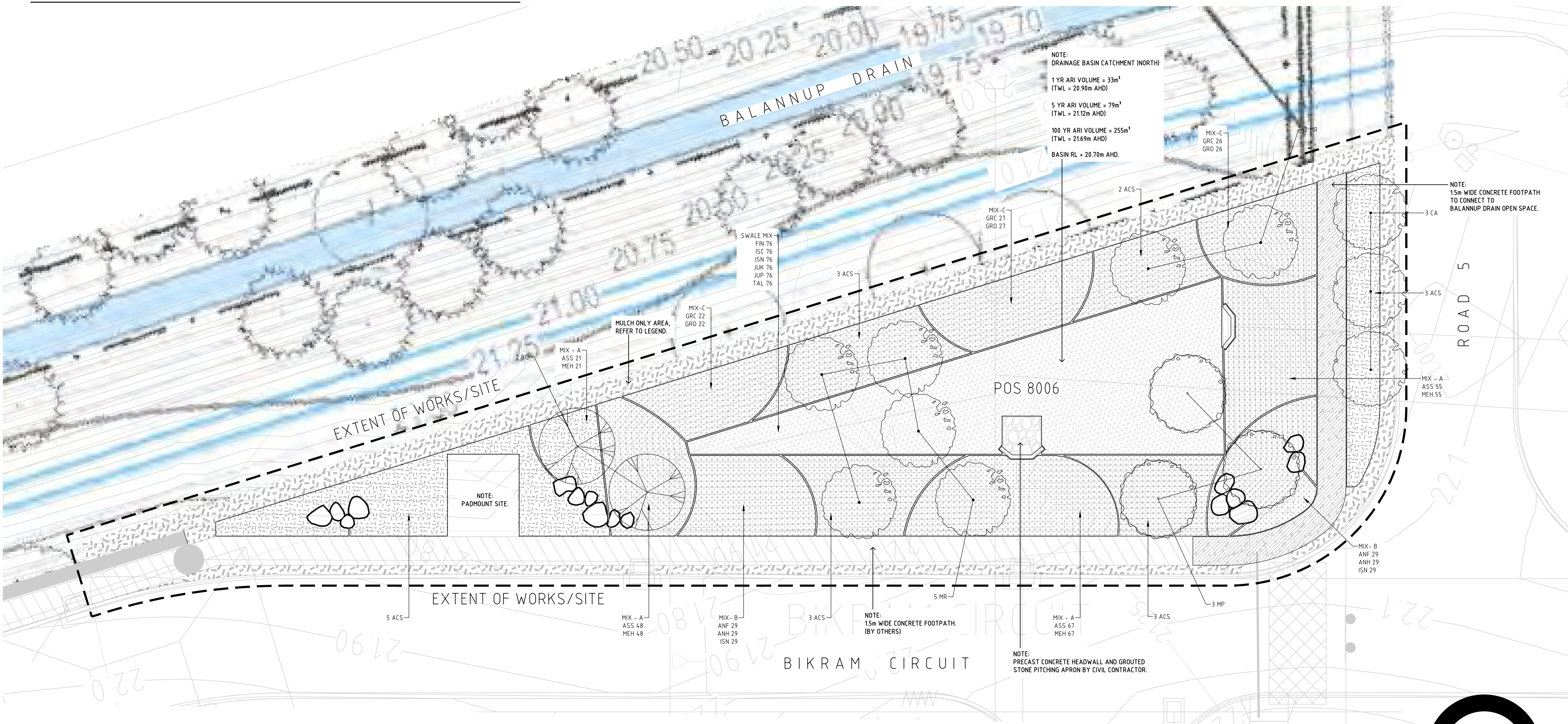
Key	Botanic Name	Pot	Spacing	Qty.
ANF	ANIGOZANTHOS FLAVIDUS YELLOW	140mm	550 mm	58
ANH	ANIGOZANTHOS HUMILIS	140mm	550 mm	58
ISN	ISOLEPIS NODOSA	140mm	550 mm	58

PLANTING MIX - C

Key	Botanic Name	Pot	Spacing	Qty.
GRC	GREVILLEA CRITHMIFOLIA	TUBE	700 mm	75
GRO	GREVILLEA OLIVACEA	TUBE	700 mm	75

NOTE:

- STREET TREE SPECIES IN ACCORDANCE WITH STREET TREE MASTER PLAN.
- VEGETATED BIOFILTRATION BASIN TO BE TEMPORARILY IRRIGATED FOR MINIMUM 2 SUMMERS UNTIL PLANT ESTABLISHMENT IS ACHIEVED.

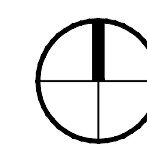


AMBIA, SOUTHERN RIVER- STAGE 4 POS 8006
PREPARED FOR SOUTHERN RIVER PTY LTD- AMBIA

LANDSCAPE CONSTRUCTION
LANDSCAPE CONCEPT PLAN

JOB NO. 1703715
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L0.101 REV A APR 2021

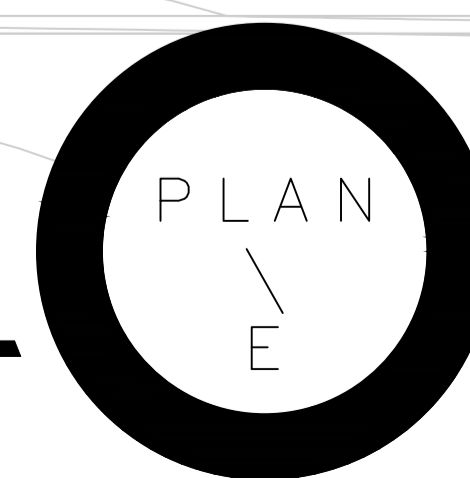


LANDSCAPE ARCHITECTS
414 ROKEBY RD SUBIACO WA 6008
T: (08) 9388 9566 E: mail@plane.com.au
LANDSPACE PTY LTD ACN 056 538 679

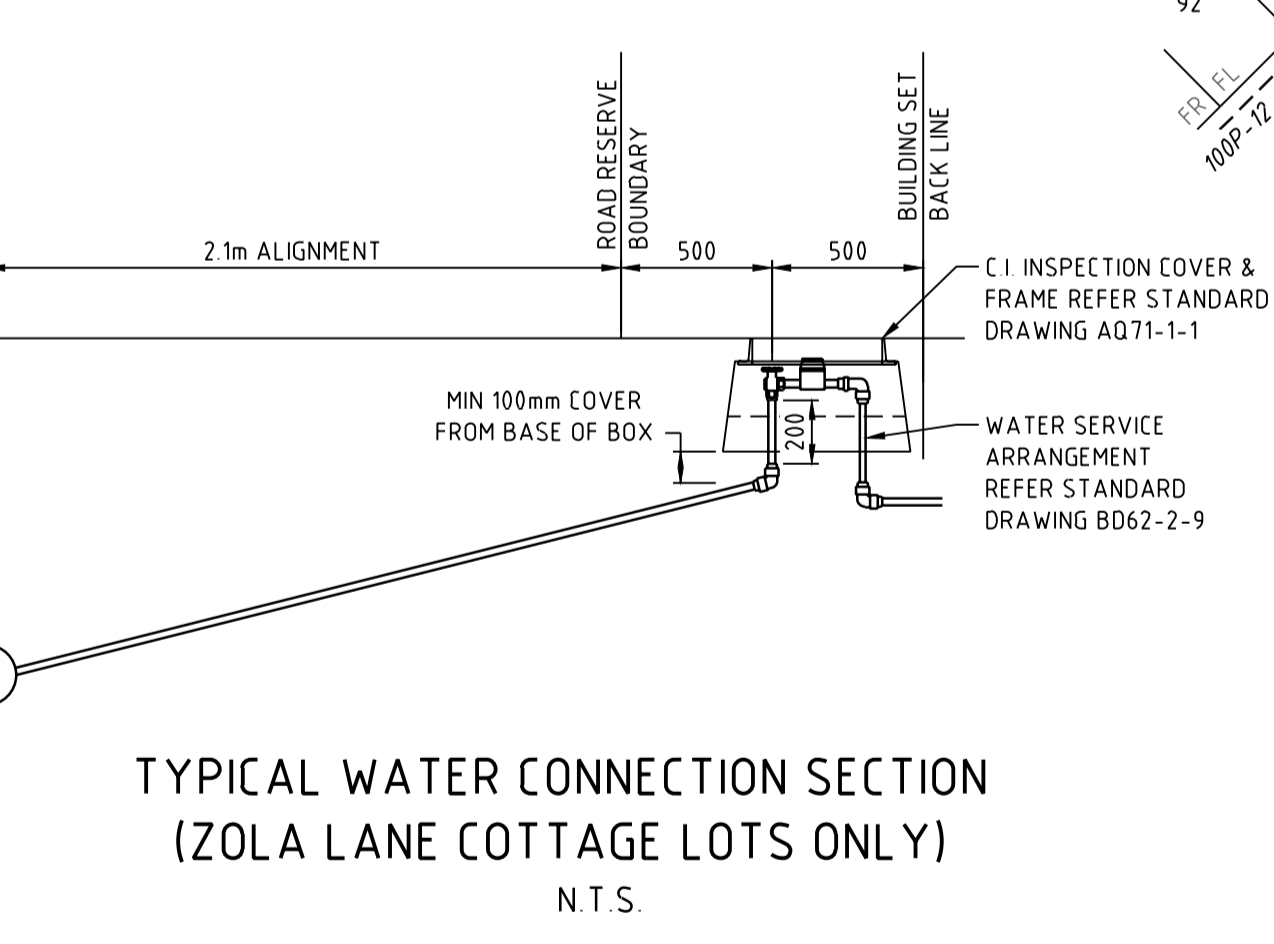
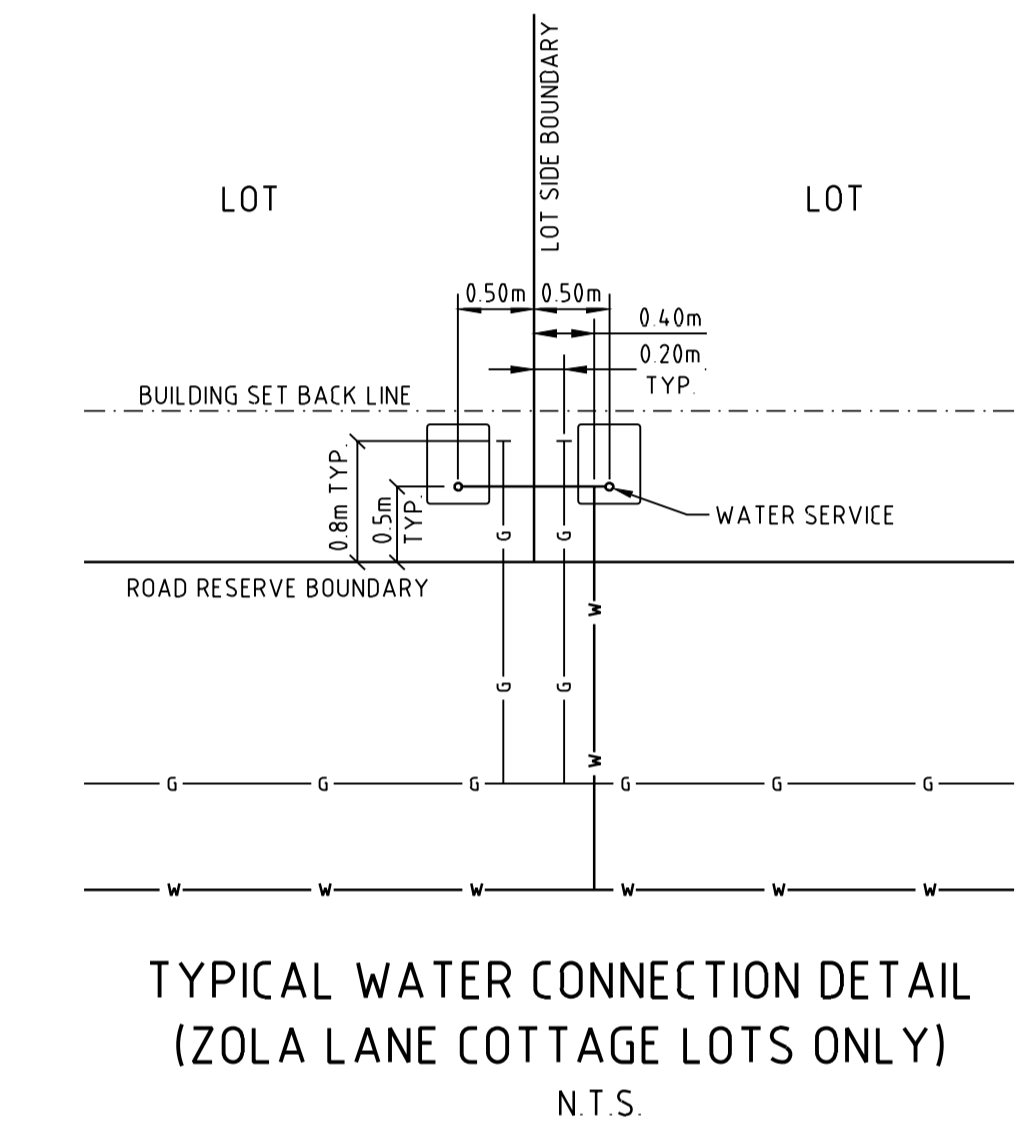
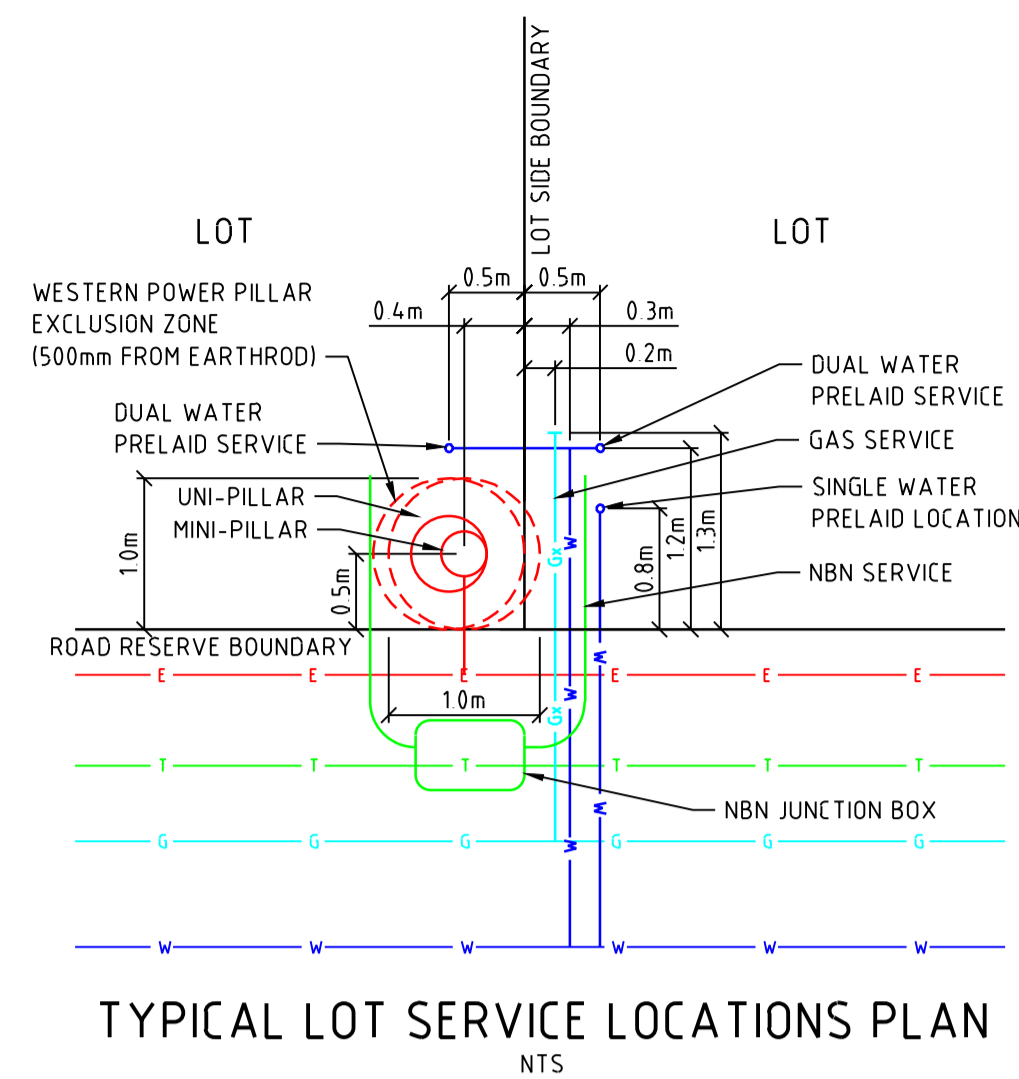
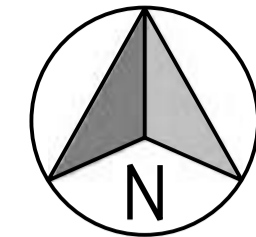
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PLOTTED BY: MOHAN

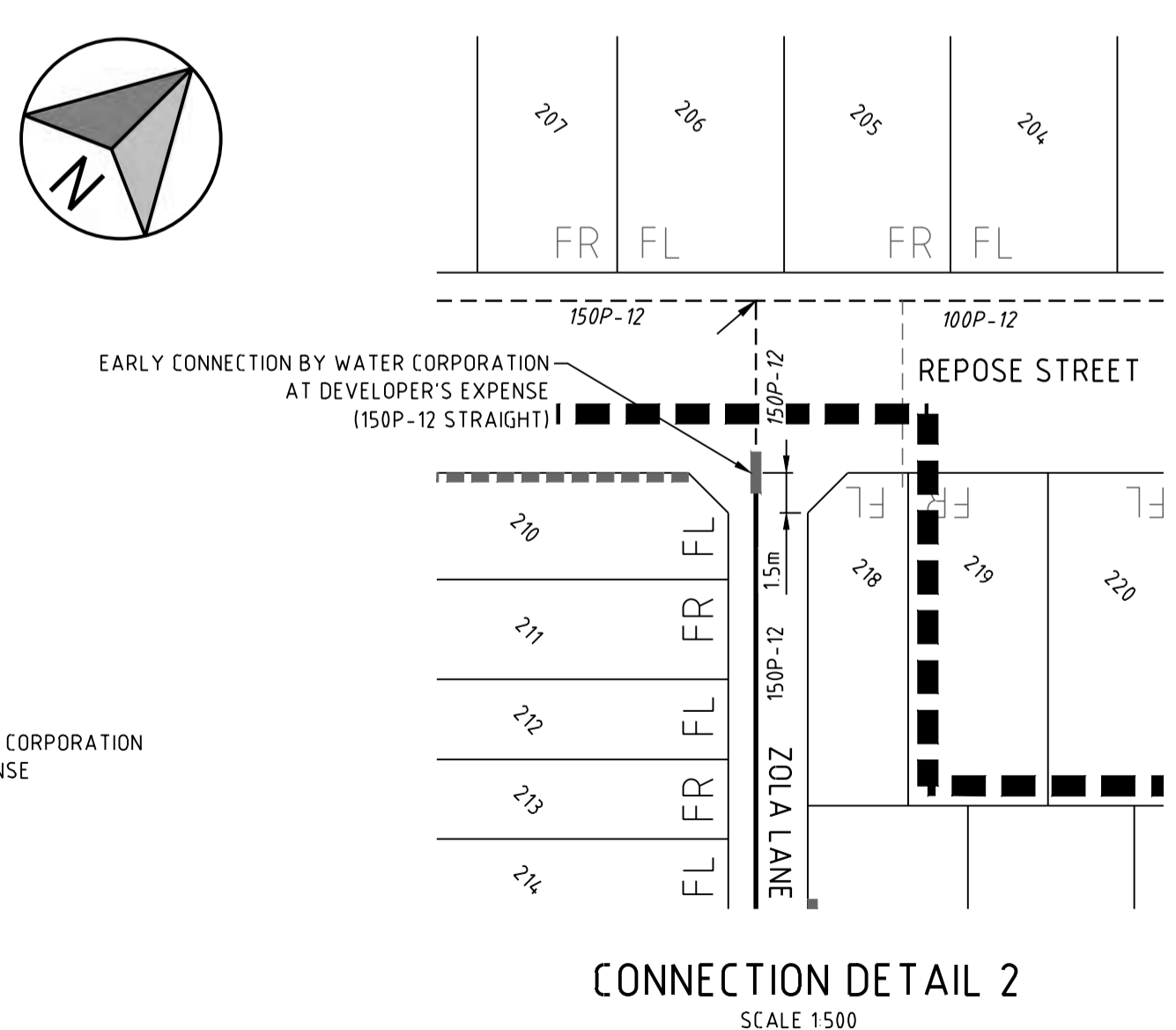
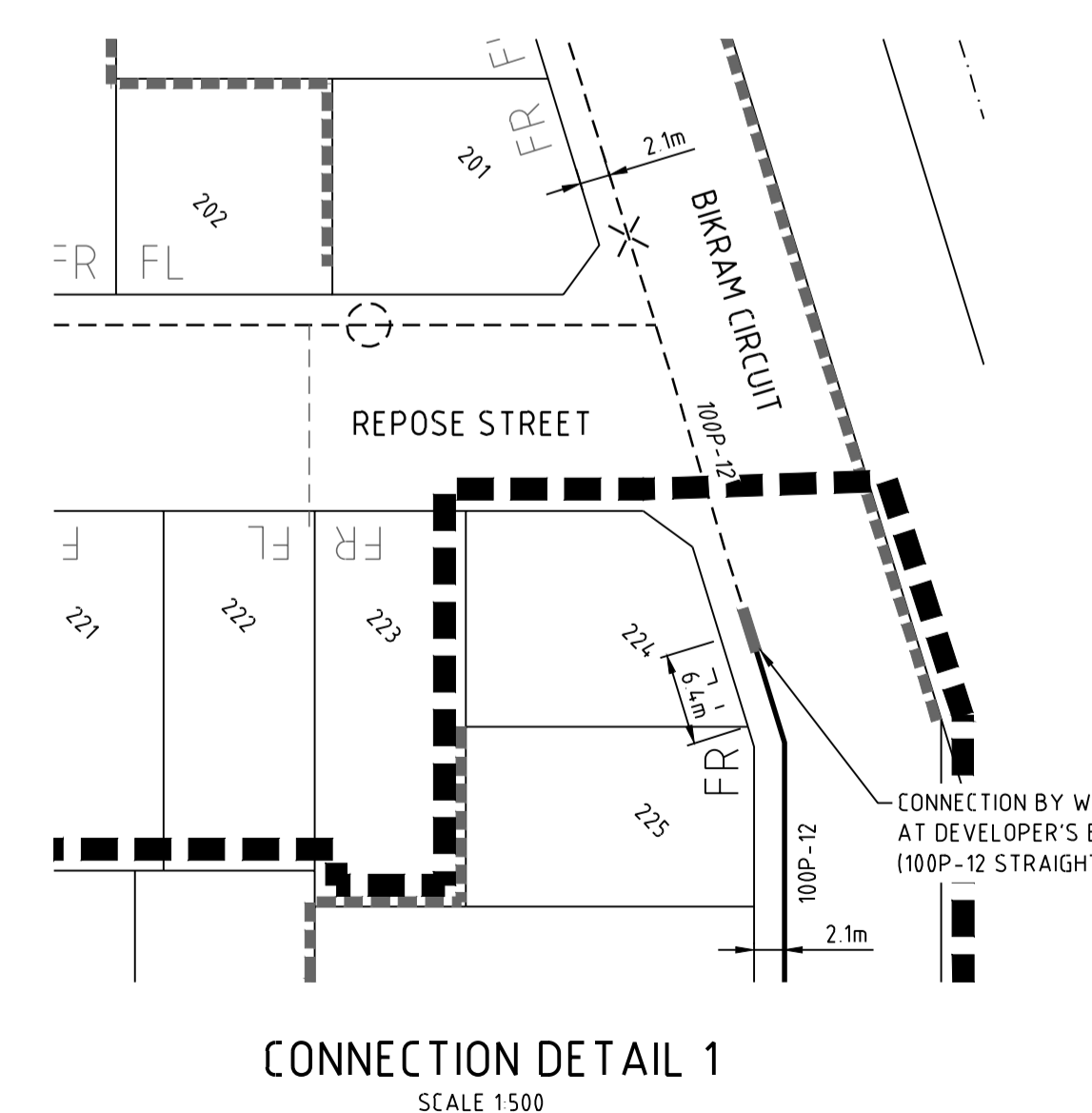
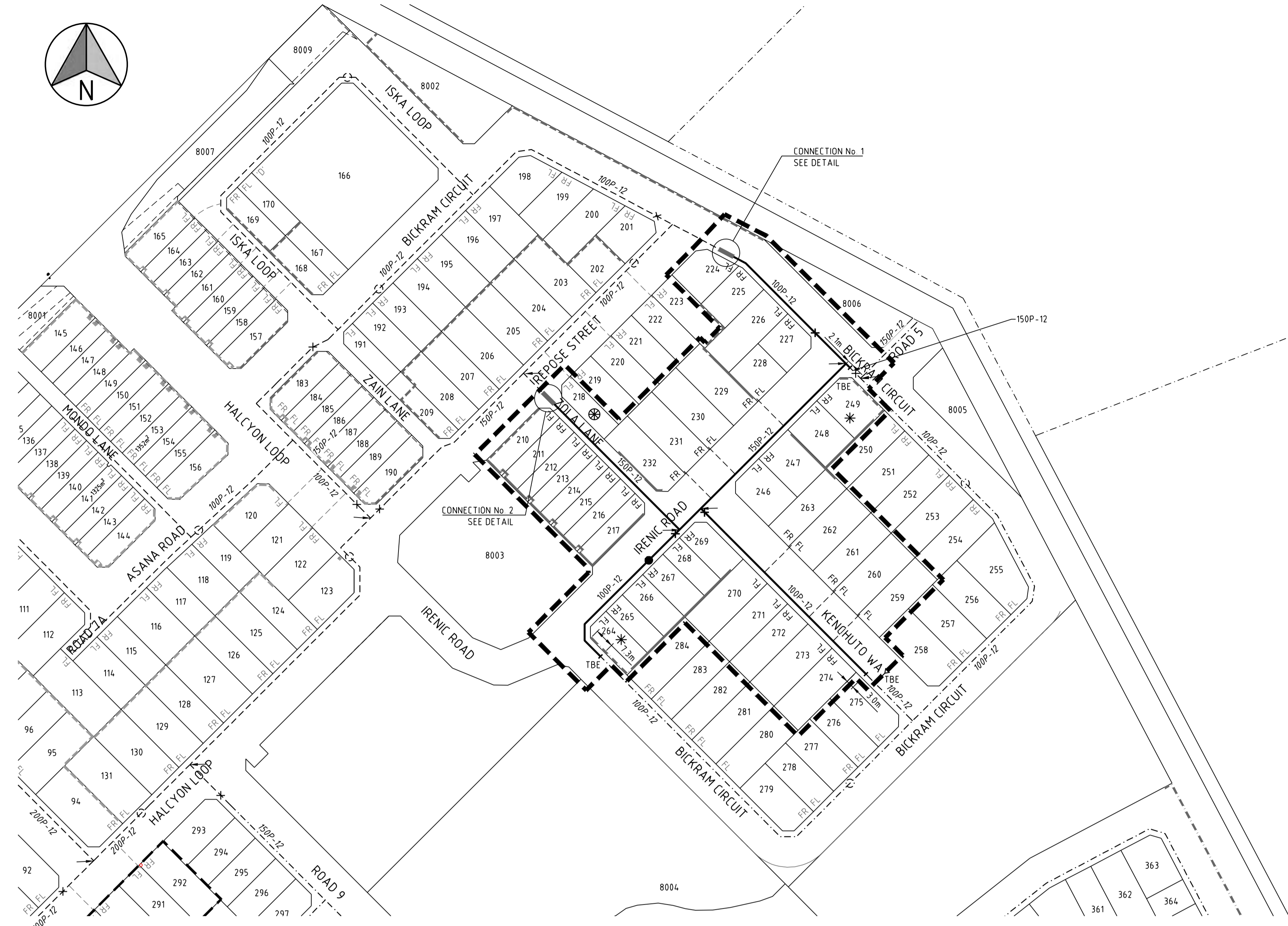
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Appendix D Civil water reticulation plan



NOTICE TO CONTRACTOR
 IT IS THE CONTRACTORS RESPONSIBILITY TO INVESTIGATE THE NATURE AND LOCATION OF ALL SERVICES WHICH MAY BE ENCOUNTERED AND TO CONSULT WITH THE RELEVANT SERVICE AUTHORITIES PRIOR TO COMMENCEMENT OF EXCAVATIONS. FAILURE TO DO SO OR TO TAKE DUE CARE SHALL NOT LIMIT THE CONTRACTORS LIABILITY FOR REPAIR OF ALL SERVICES DAMAGED BY HIM DURING CONSTRUCTION WORKS. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY FOR THE PROTECTION OF ALL EXISTING SERVICES.



CONTRACTOR'S RESPONSIBILITY

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CO-ORDINATE THE INSTALLATION OF ALL SERVICES WITHIN THE SUBDIVISION. THE CONSULTANT SHOULD ENSURE THAT THERE IS NO CONFLICT BETWEEN THE POSITIONING OF FULLY PRE-LAI D WATER SERVICES WITHIN THE LOT AND AND WESTERN POWER UNDERGROUND POWER CONNECTION PILLARS. THE SUPERINTENDENT SHOULD BE CONSULTED IF AMENDMENTS TO FULLY PRE-LAI D SERVICES ARE REQUIRED.

SERVICES

- 1 ALL WATER MAINS SHALL BE INSTALLED ON 2.1m ALIGNMENT EXCEPT AS OTHERWISE AGREED
- 2 FULLY PRE-LAI D WATER SERVICES TO BE INSTALLED IN ACCORDANCE WITH W.C. WATER RETICULATION DESIGN STANDARD DS 63 VERSION 3 REVISION 14, SEPTEMBER 2018 AND READ IN CONJUNCTION WITH W.C. STANDARD ARRANGEMENT DRG No's BD 62-8-15 AND BD62-8-24
- 3 WATER SERVICE LOCATIONS SHALL BE IN ACCORDANCE WITH THE GUIDELINES FOR POSITIONING CONTAINED IN DRG No. BD62-8-14.
- 4 WHERE POSSIBLE LOTS ARE ARRANGED IN PAIRS WITH A DUAL SERVICE PIPE ENTERING THE RIGHT HAND SIDE OF THE PAIR OF LOTS AND SPLITTING LEFT AND RIGHT TO SUPPLY EACH PAIR OF METERS.
- 5 WHERE SHORT AND LONG SINGLE SERVICES ARE INDICATED THE SERVICE PIPE AND METER SHOULD, IF POSSIBLE, BE LOCATED AT THE LEFT HAND SIDE BOUNDARY OF LOTS.
- 6 FOR A STRAIGHT ROAD RESERVE, SERVICE PIPES SHALL BE ALIGNED AT RIGHT ANGLES TO FRONT BOUNDARIES, RATHER THAN TO THE SUPPLY WATER MAINS.
- 7 WHERE THERE IS A BEND IN THE ROAD RESERVE AT THE SIDE BOUNDARY, THE SERVICE PIPE SHALL BE POSITIONED PARALLEL TO THE LINE BISECTING THE ANGLE.
- 8 FL AND FR (FULLY PRELAI D LEFT & RIGHT) INDICATES THE SIDE OF THE LOT WHEN VIEWED FROM THE ROAD FRONTAGE WHICH IS SELECTED FOR ITS METER LOCATION.
- 9 FULLY PRE-LAI D WATER SERVICES INSTALLED IN STAIR LANDINGS ARE TO BE INSTALLED IN ACCORDANCE WITH STANDARD WATER CORPORATION DRG No. BD62-2-9.

LEGEND

DESCRIPTION	SYMBOL
RETICULATION AREA BOUNDARY	--- --
PROPOSED MAINS	— — — —
PROPOSED VALVE (No. = 4)	— — — — X
PROPOSED HYDRANT (No. = 1)	— — — — ●
PROPOSED PRELAI D LONG SERVICE	- - - - -
CHANGE IN PIPE SIZE	— / —
TEMPORARY BLANK END AND FLUSHING POINT (No. = 3)	— TBE —
CONNECTION BY WATER CORPORATION (No. = 2)	— — — —
EXISTING MAIN, HYDRANT AND VALVE	— — — — X
FUTURE MAIN, HYDRANT AND VALVE	— — — — X
PROPOSED RETAINING WALL	— — — —
EXISTING RETAINING WALL	— — — —
FUTURE RETAINING WALL	— — — —
SERVICE LAID IN THIS STAGE FOR RELEASE IN FUTURE STAGE	*
SERVICE LAID IN PREVIOUS STAGE TO BE RELEASED IN THIS STAGE	⊗

SERVICES	QTY (No.)
PRELAI D SHORT DUAL	13
PRELAI D LONG DUAL	4
PRELAI D SHORT SINGLE	1
PRELAI D LONG SINGLE	2
TOTAL	20
TOTAL NUMBER OF LOTS SERVED	37
NUMBER OF DEFERRED SERVICES	0
EXTENSION	QTY (m)
63mm MDPE	0.0
100 P-12	208.7
150 P-12	156.0
200 P-12	0.0
250 P-12	0.0

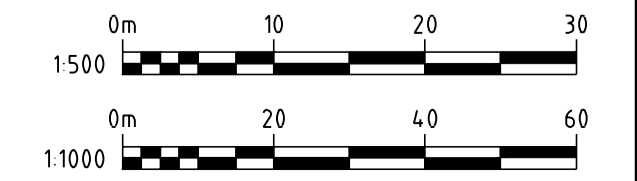
MSWA RETICULATION SUBMISSION
 This plan is accepted as being in accordance with the endorsed Concept Plan: MW07-100-001-01A
 Compliance with relevant design standards and manuals remains the responsibility of the Design Engineer.
 No works are to commence on site until start-up meeting requirements have been made with the relevant Asset Inspector. Refer to the Developers' Manual for contact details.

NP35-103-001-01A

FILE: 112427450

P:\6231 Project_3E_Southern River LWP\6231-04Acad\6231-04-500.dwg_23/02/2021 3:56:12 PM, Alishah, Digital Signing PDF p03.1.1 - CV Reference

REV	DATE	DRN	CKD	APP	AMENDMENT
0	23.02.21	ARH			ISSUED FOR WATER CORPORATION APPROVAL AND CONSTRUCTION
C	17.02.21	ARH			AMMAGAMATED WITH STAGE 5A
B	11.12.20	ARH			LOT LAYOUT UPDATED
A	27.10.20	TS	CH		ISSUED FOR WATER CORPORATION APPROVAL



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 This plan shall only be printed in full colour. If this plan is printed in black and white or grey scale it is not to be used for construction unless issued as revision 0 or higher.

Cossill & Webley CONSULTING ENGINEERS
 Mailing Address: PO Box 680, Subiaco WA 6904
 Street Address: B12 (Level 2) 431 Roberts Road, Subiaco WA 6008
 T (08) 9422 5800 F (08) 9422 5801 E admin@cosweb.com.au

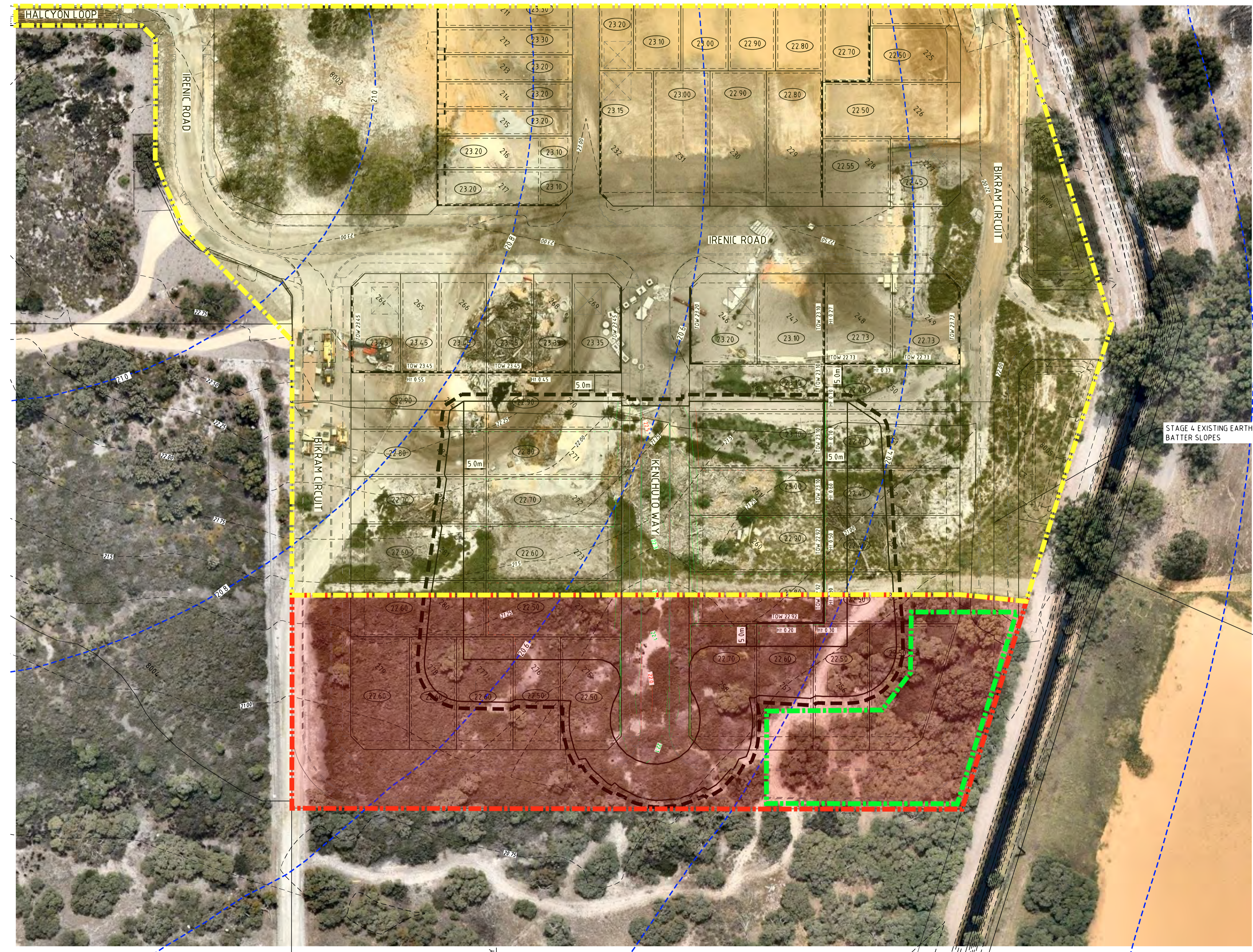
LWP
 bringing communities to life

CLIENT: AMBIA - STAGE 4
 PROJECT: AMBIA - STAGE 4
 TITLE: WATER RETICULATION PLAN SHEET 1 OF 1
 WAPC No: 156198 & 158850
 DRAWING No: 6231-04-500
 REVISION: 0

DESIGNED: TS
 SCALE: 1:500-1:1000

ORIGINAL SIZE A1

Appendix E Civil roadworks plan



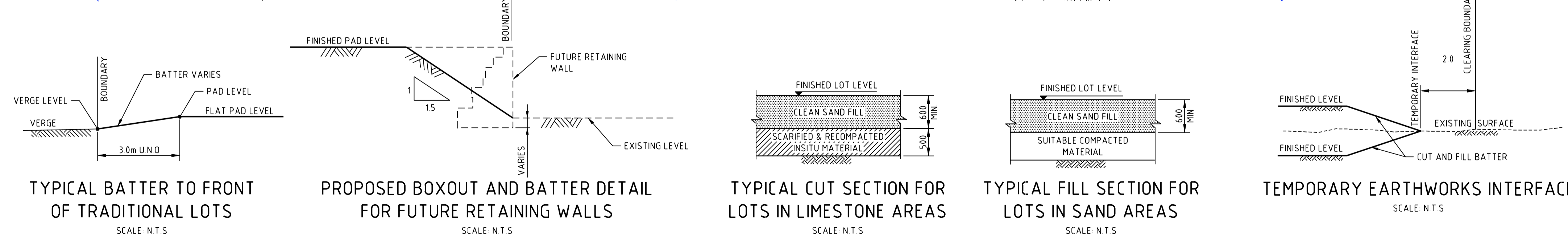
DESCRIPTION	SYMBOL
LIMIT OF WORKS BOUNDARY	--- --
FINISHED SURFACE CONTOUR MAJOR	— 25.5 —
FINISHED SURFACE CONTOUR MINOR	— 25.1 —
EXISTING SURFACE CONTOUR (0.25m)	- - - 25.25 - - -
AAMGL CONTOUR (0.2m CONTOUR INTERVAL)	- - - 26.80 - - -
FINISHED LOT PAD LEVEL	(25.00)
PROPOSED RETAINING WALL	— — — —
EXISTING RETAINING WALL	- - - - -
FUTURE RETAINING WALL	- - - - -
EXTENTS OF FLAT LOT PAD	[]
RETAINING WALL HEIGHT (ABOVE TOP OF FOUNDATION BLOCKS)	HT 1100
TOP OF WALL LEVEL	TOW 25.00
AREA CLEARED PREVIOUS STAGES	[Yellow]
STAGE 5A CLEARING BOUNDARY/AREA	[Red]
STAGE 5A TOPSOIL STOCKPILE AREA	[Green]

NOTES

- ALL LEVELS IN METRES TO AHD SURVEY BY MNG
- BATTERS TO EXISTING SURFACE AT 13 (CUT) 14 (FILL) UNLESS NOTED OTHERWISE
- BATTER POSITION FOR FUTURE WALLS TO ENSURE CUT TO FILL EARTHWORKS BALANCE
- ALL UNSUITABLE MATERIAL TO BE REMOVED BY THE CONTRACTOR TO APPROVED TIPPING SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALL FEES TO BE PAID BY CONTRACTOR
- EXTENT OF CLEARING AND EARTHWORKS TO BE LIMITED TO THE STAGE CLEARING BOUNDARY UNLESS AGREED WITH THE SUPERINTENDENT
- ALL CLEARED MATERIAL TO BE MULCHED AND STOCKPILED ON SITE AS DIRECTED BY THE SUPERINTENDENT
- CONTRACTOR TO LOCATE ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF WORKS ON SITE
- CONTRACTOR TO GRADE EVENLY BETWEEN DESIGN CONTOURS AND MATCH INTO EXISTING SURFACE AT LIMIT OF EARTHWORKS BOUNDARY WHERE APPROPRIATE
- EXCESS CUT FROM EARTHWORKS SHALL BE PLACED ON SITE AS DIRECTED BY THE SUPERINTENDENT
- WHERE LIMESTONE IS WITHIN 600mm OF THE FINAL SURFACE LEVEL THE CONTRACTOR SHALL TREAT THE SITE IN ACCORDANCE WITH THE SPECIFICATION
- DESIGN LEVELS SHOWN SHALL BE ON THE FINISHED SURFACE INCLUDING TOPSOIL WHERE SPECIFIED
- THE CONTRACTOR SHALL LIMIT THE MOVEMENT OF EQUIPMENT AND MANPOWER TO THE MINIMUM AREA NECESSARY AND PROTECT ALL VEGETATION AND EXISTING SERVICES ON SITE
- ADJACENT RESIDENTS TO BE NOTIFIED OF THE WORKS AT LEAST TWO WEEKS IN ADVANCE. CONTRACTOR TO PROVIDE MOBILE NUMBER FOR SUPERVISOR AS PART OF NOTIFICATION

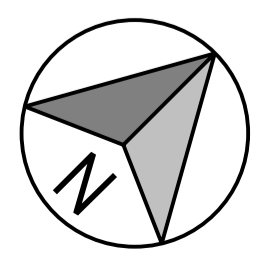
WARNING TO CONTRACTOR UXO
 THE SITE IS IDENTIFIED AS HAVING RISK OF UNEXPLODED ORDNANCE.
 "NO EXCAVATION OR OTHER DISTURBANCE OF THE SOIL ON THIS SITE SHOULD BE CARRIED OUT WITHOUT FIRST OBTAINING CLEARANCE FROM THE UNEXPLODED ORDNANCE BRANCH OF THE W.A. POLICE DEPARTMENT."

NOTICE TO CONTRACTOR
 IT IS THE CONTRACTORS RESPONSIBILITY TO INVESTIGATE THE NATURE AND LOCATION OF ALL SERVICES WHICH MAY BE ENCOUNTERED AND TO CONSULT WITH THE RELEVANT SERVICE AUTHORITIES PRIOR TO COMMENCEMENT OF EXCAVATIONS. FAILURE TO DO SO OR TO TAKE DUE CARE SHALL NOT LIMIT THE CONTRACTORS LIABILITY FOR REPAIR OF ALL SERVICES DAMAGED BY HIM DURING CONSTRUCTION WORKS. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY FOR THE PROTECTION OF ALL EXISTING SERVICES.



P:\6231_Previct_3E_Southern_River_LWP\6231-05A\Acad\6231-05A-100.dwg, 14/12/2020 9:59:46 AM, Alishah, Digital Signing PDF, pc3, 1:1, - CNV Reference

REV	DATE	DRN	CKD	APP	AMENDMENT
A	14.12.20	ARH			ISSUED FOR APPROVAL



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 bringing communities to life

APPROVED: *[Signature]*

DESIGNED: ARH

SCALE: 1:500

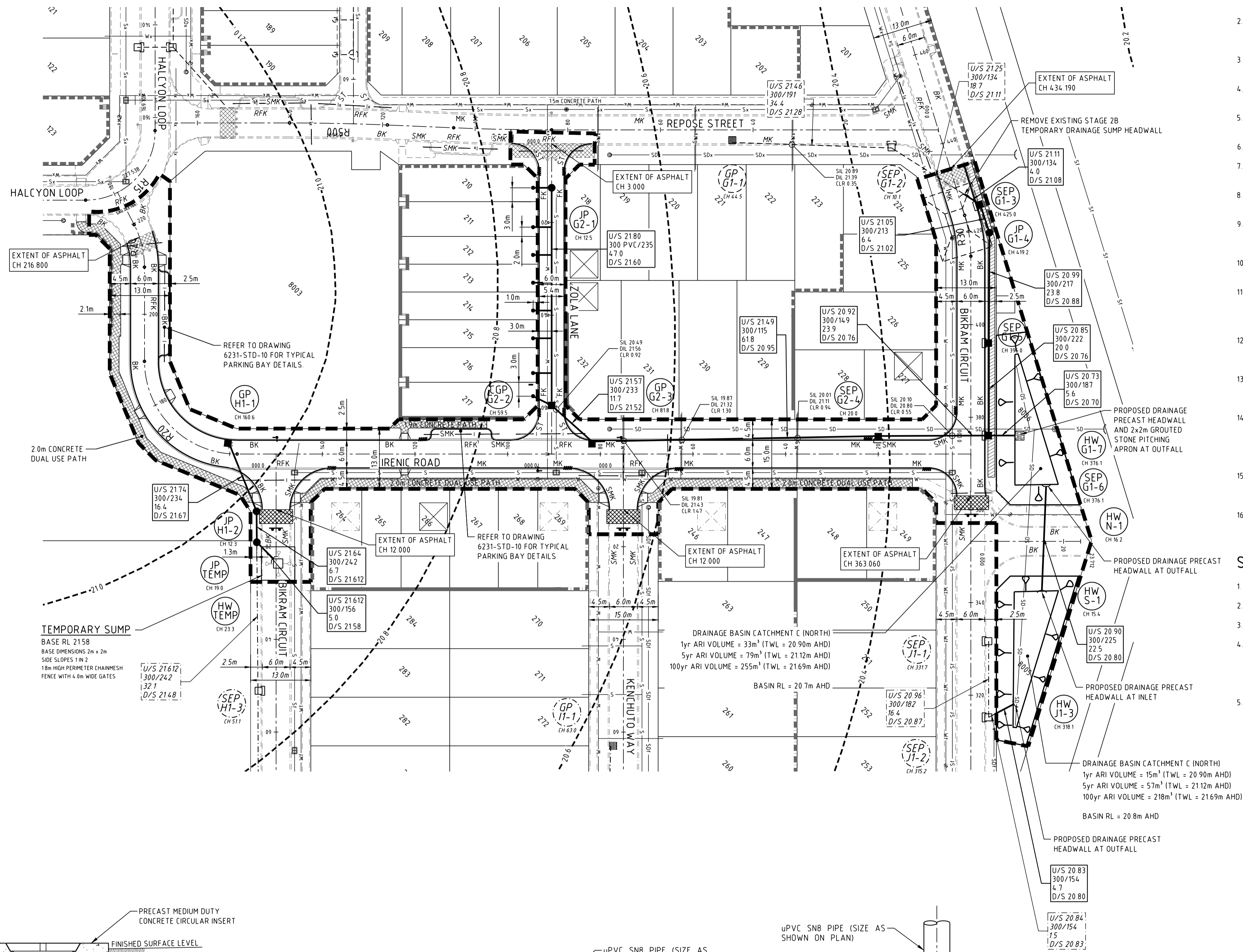
PROJECT	AMBIA - STAGE 05A		
TITLE	CLEARING AND SITEWORKS		
	SHEET 1 OF 1		
WAPC No.	156198 & 158850	DRAWING No.	6231-05A-100
REVISION	A	ORIGINAL SIZE	A1

DESCRIPTION	SYMBOL									
LIMIT OF WORKS BOUNDARY	---									
PROPOSED ROAD	---									
EXISTING ROAD	---									
FUTURE ROAD	---									
PROPOSED DRAINAGE PIPE	---									
EXISTING DRAINAGE PIPE	---									
FUTURE DRAINAGE PIPE	---									
PROPOSED DRAINAGE PIPE WITH JUNCTION PIT (JP), SIDE ENTRY PIT (SEP), COMBINATION GULLY PIT (CGP) AND CIRCULAR GRATED PIT (GP)	---									
DRAINAGE PIT LABEL										
DRAINAGE PIT LID NOTATION										
UPSTREAM INVERT LEVEL	<table border="1"> <thead> <tr> <th>PROPOSED</th> <th>EXISTING</th> <th>FUTURE</th> </tr> </thead> <tbody> <tr> <td>U/S 20.50 300/100.0</td> <td>U/S 20.50 300/100.0</td> <td>U/S 20.50 300/100.0</td> </tr> <tr> <td>50.0 D/S 20.00</td> <td>50.0 D/S 20.00</td> <td>50.0 D/S 20.00</td> </tr> </tbody> </table>	PROPOSED	EXISTING	FUTURE	U/S 20.50 300/100.0	U/S 20.50 300/100.0	U/S 20.50 300/100.0	50.0 D/S 20.00	50.0 D/S 20.00	50.0 D/S 20.00
PROPOSED	EXISTING	FUTURE								
U/S 20.50 300/100.0	U/S 20.50 300/100.0	U/S 20.50 300/100.0								
50.0 D/S 20.00	50.0 D/S 20.00	50.0 D/S 20.00								
PIPE DIAMETER / GRADE	---									
DISTANCE BETWEEN PITS	---									
DOWNSTREAM INVERT LEVEL	---									
PROPOSED SUBSOIL DRAINAGE PIPE	---									
EXISTING SUBSOIL DRAINAGE PIPE	---									
FUTURE SUBSOIL DRAINAGE PIPE	---									
PROPOSED CONCRETE PATH WITH CoG TYPE B PRAM RAMP (U N O)	---									
ROAD BASE AND PRIME (3.0m PAST LIMIT OF PAVEMENT)	---									
RED ASPHALT WEARING COURSE	---									
BLACK ASPHALT WEARING COURSE	---									
DESIGNATED GARAGE LOCATION	---									
PROPOSED KERB TRANSITION	---									
POST WITH STREET NAME PLATES	---									
CHEVRON BOARD	---									
PROPOSED RETAINING WALL	---									
EXISTING RETAINING WALL	---									
FUTURE RETAINING WALL	---									
KERB TYPES										
DESCRIPTION	SYMBOL									
MOUNTABLE KERB	MK									
SEMI MOUNTABLE KERB	SMK									
REINFORCED FLUSH KERB	RFK									
FLUSH KERB	FK									
BARRIER KERB	BK									
SWEEP TRANSITION DETAIL (LANEWAYS ONLY) REFER TO STANDARD DETAIL DWG 6231-STD-10	ST									

ALL 'RFK' TYPE KERBS TO BE INSTALLED WITH EXPANSION AND CONTRACTION JOINTS TO CoG REQUIREMENTS

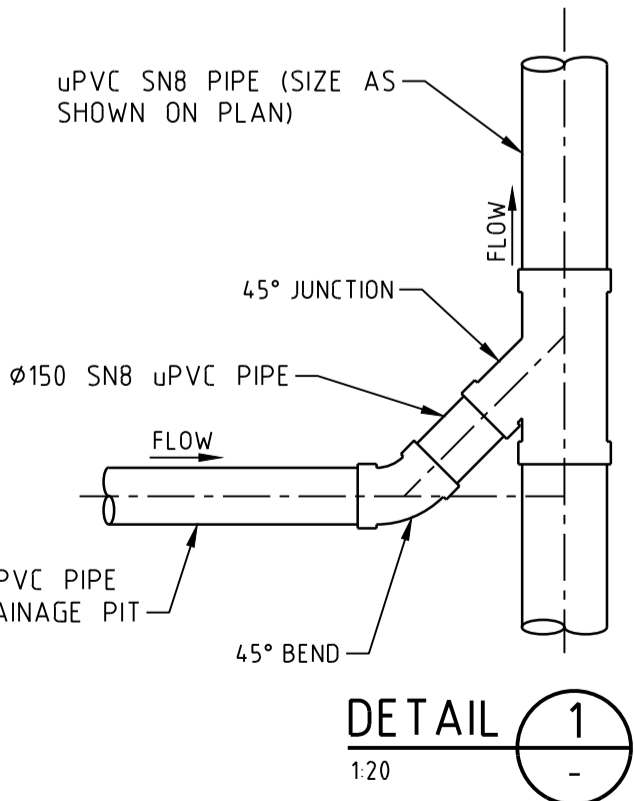
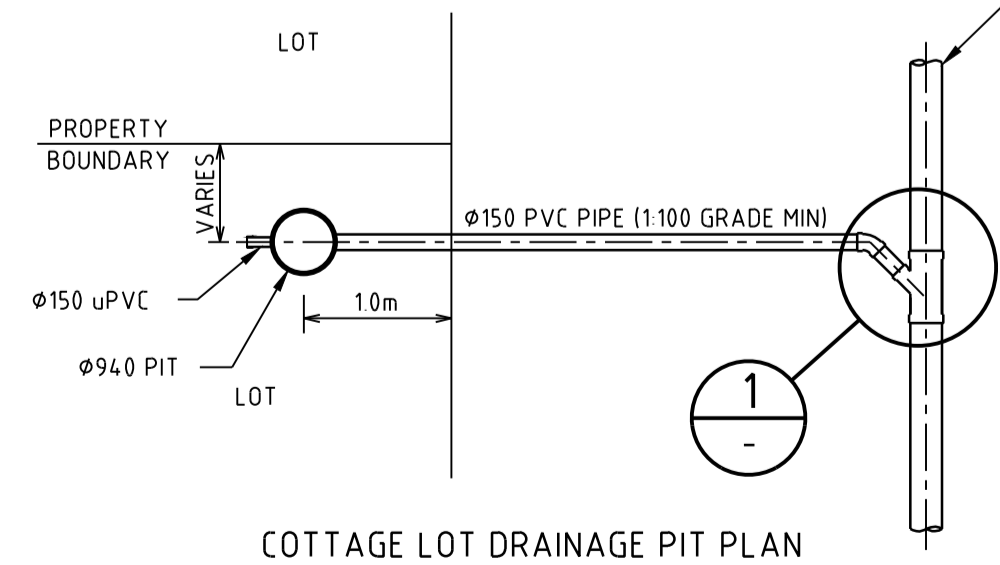
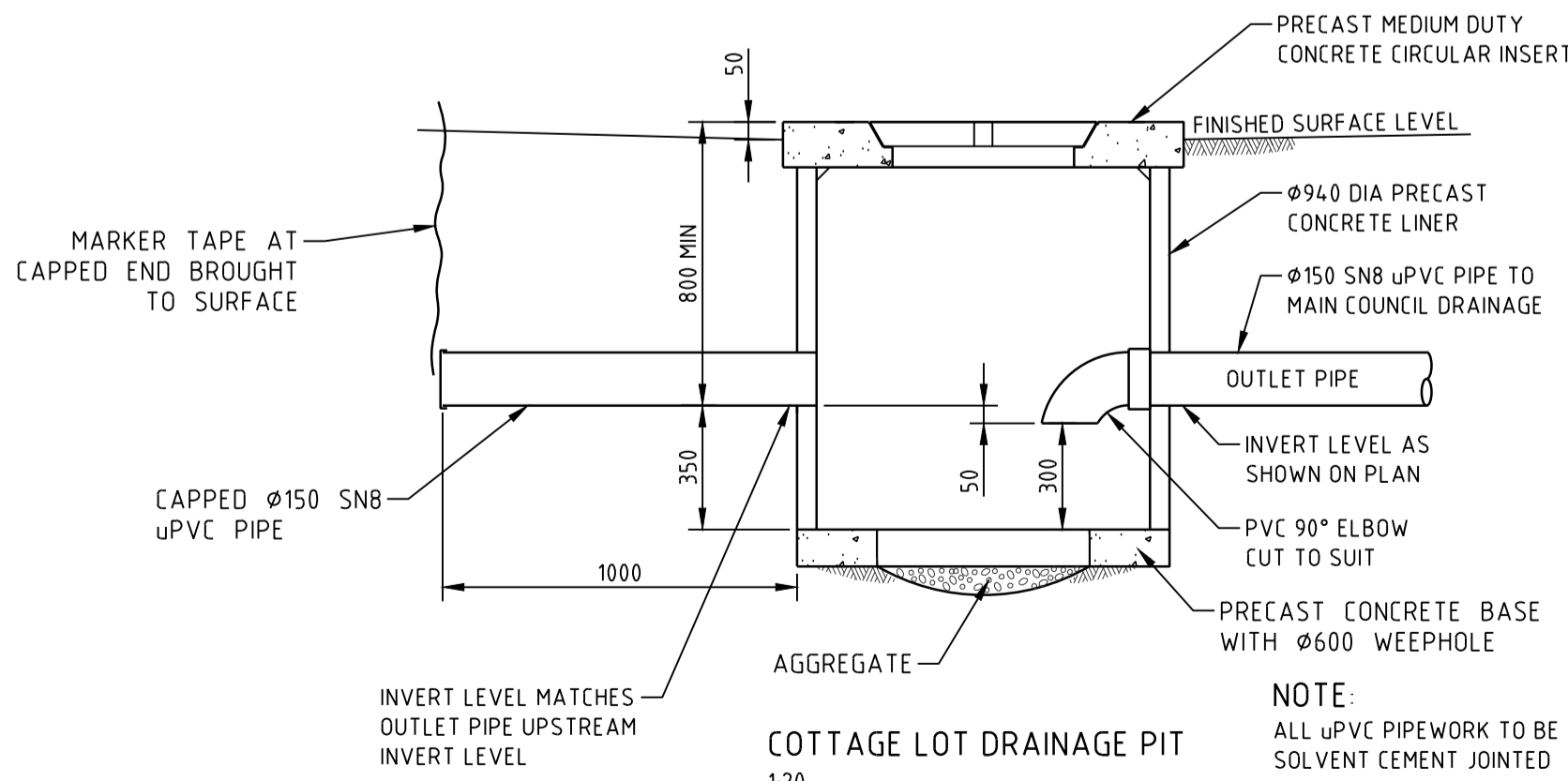
* ALL LOT CONNECTION PIPES ARE Ø150 PVC U.N.O.

LOT	U/S	DIA	GRADE	LENGTH	D/S	LID
210	22.14	150	100.0	4.0	22.10	23.16
211	22.16	150	12.5	4.0	21.84	23.25
212	22.15	150	12.0	4.0	21.82	23.25
213	22.08	150	13.8	4.0	21.79	23.18
214	22.05	150	14.0	4.0	21.77	23.15
215	21.99	150	16.0	4.0	21.74	23.13
216	21.96	150	15.0	4.0	21.70	23.12
217	21.99	150	89.0	4.5	21.94	23.20



- ### STANDARD NOTES
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SPECIFICATION AND REQUIREMENTS OF THE LOCAL AUTHORITY
 - THE CONTRACTOR SHALL LIAISE WITH ALL PUBLIC UTILITIES PRIOR TO COMMENCING WORK TO LOCATE ALL SERVICES WITHIN THE CONTRACT SITE
 - ALL LEVELS SHALL BE LOCATED FROM ESTABLISHED BENCHMARKS AS ESTABLISHED BY THE PROJECT SURVEYOR
 - ALL CONNECTIONS TO EXISTING WORK SHALL BE SMOOTH AND OF NEAT APPEARANCE
 - REFER INTERSECTION DETAIL DRAWINGS FOR CORNER RADI AT INTERSECTIONS AND CUL-DE-SACS
 - ALL KERBING TO BE MOUNTABLE TYPE UNLESS NOTED OTHERWISE
 - TRANSITION BETWEEN DIFFERENT KERB TYPES SHALL BE MADE OVER A LENGTH OF 2m
 - WHERE POSSIBLE, STREET SIGNS TO BE STRAPPED TO STREET LIGHT POLES
 - ALL CUTS THROUGH LIMESTONE SHALL BE EXCAVATED TO A DEPTH OF 100mm BELOW SUB-GRADE LEVEL AND 200mm BELOW THE FINISHED LEVEL OF VERGES
 - STORMWATER PIPES SHALL BE REINFORCED CONCRETE (CLASS 4) R R J UNLESS NOTED OTHERWISE
 - DRAINAGE PIPES TO BE INSTALLED IN ACCORDANCE WITH AS3725 CONTRACTOR TO CONSIDER GROUND CONDITIONS, HAUNCHING, TRENCH CONDITIONS, LOAD PARAMETERS AND COMPACTION METHODS TO ENSURE INTEGRITY OF PIPE
 - MANHOLES AND SIDE ENTRY PITS SHALL BE LOCATED IN POSITIONS SHOWN IRRESPECTIVE OF THE INDICATED PIPE LENGTHS AND WHERE APPLICABLE THE PITS SHALL BE LOCATED AT THE ACTUAL LOW POINT
 - MINIMUM COVER TO DRAINAGE PIPES TO BE 600mm UNLESS NOTED OTHERWISE CLEARANCE WITH ALL OTHER SERVICES TO BE 150mm CONTRACTOR TO ADVISE OF ANY DISCREPANCIES
 - WHERE A SEWER LINE INTERSECTS WITH A STORMWATER DRAINAGE LINE AND THE SEWER PASSES OVER THE DRAIN THEN THE SEWER SHALL HAVE A TIMBER PILE AND KEEL PROVIDED FOR THE FULL EXTENT NECESSARY TO SUPPORT THE SEWER DURING EXCAVATION FOR THE DRAIN
 - THE ROADWORKS AND DRAINAGE DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE SEWERAGE RETICULATION PLAN(S) AND THE STANDARD DRAWING(S)
 - STORMWATER ACCESS CHAMBER LIDS IN VERGES ARE TO BE SET TO MATCH VERGE CROSSFALLS AND LEVELS

- ### STAGE NOTES
- LOCAL AUTHORITY - CITY OF GOSNELLS
 - PROJECT SURVEYOR - MNG
 - LANDSCAPE ARCHITECT - PLAN E
 - REFERENCE DRAWINGS:
SEWERAGE RETICULATION PLAN 6231-04-400
WATER RETICULATION PLAN 6231-04-500
INTERSECTION DETAILS 6231-04-620
SUBSOIL DRAINAGE PLAN 6231-04-750
 - DRAINAGE PIPES TO BE LAID ON 35m ALIGNMENT IN ROAD RESERVES UNLESS NOTED OTHERWISE

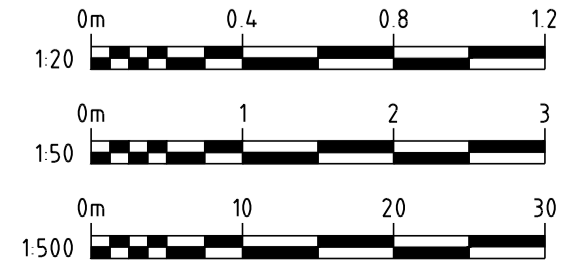
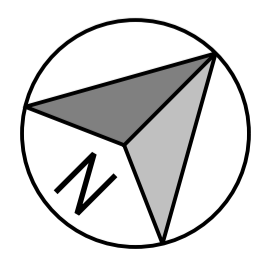


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REV	DATE	DRN	CKD	APP	AMENDMENT
0	29.04.21	ARH	-		ISSUED FOR CONSTRUCTION
D	08.04.21	ARH	LC	L. COYLE	UPDATED TO SUIT COUNCIL COMMENTS
C	03.03.21	ARH	CH		RED ASPHALT AND RFK REMOVED FROM IRENIC ROAD
B	11.12.20	ARH	CH		LOT LAYOUT UPDATED
A	27.10.20	TS	CH		ISSUED FOR APPROVAL



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LWP
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APPROVED:

DESIGNED: TS

SCALE: AS SHOWN

PROJECT	AMBIA - STAGE 4		
TITLE	ROADWORKS AND STORMWATER DRAINAGE SHEET 1 OF 1		
WAPC No.	156198 & 158850	DRAWING No.	6231-04-610
REVISION	0	SCALE	AS SHOWN

ORIGINAL SIZE A1

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Document Status

Report version	Rev No.	Purpose	Author	Reviewed and Approved for Issue	
				Name	Date
Final Report	Rev 0	Issued for use: to facilitate subdivision clearance and building permit approvals	Kaitlin Southgate	Zac Cockerill (BPAD 37803, Level 2)	5 July 2021

